

MURPHY PLANNING AND ZONING COMMISSION AGENDA
REGULAR PLANNING AND ZONING COMMISSION MEETING
JULY 27, 2015 AT 6:00 PM, CITY HALL, COUNCIL CHAMBERS
206 NORTH MURPHY ROAD
MURPHY, TEXAS 75094



NOTICE is hereby given of a meeting of the Planning and Zoning Commission of the City of Murphy, Collin County, State of Texas, to be held on July 27, 2015 at Murphy City Hall for the purpose of considering the following items. The Planning and Zoning Commission of the City of Murphy, Texas, reserves the right to meet in closed session on any of the items listed below should the need arise and if applicable pursuant to authorization by Title 5, Chapter 551, of the Texas Government Code.

CALL TO ORDER

Jon King
Chair

ROLL CALL & CERTIFICATION OF A QUORUM

Steve Levy
Vice Chair

SEAT ALTERNATES AS NEEDED

PUBLIC COMMENTS

Camille Hooper
Secretary

INDIVIDUAL CONSIDERATION

John Johnson
Commissioner

1. Consider and/or act on the minutes from the regular June 22, 2015 Planning & Zoning Commission meeting.

Lloyd Jones
Commissioner

2. Consider and/or act on the application of property owner McBirney 544 Joint Venture requesting approval of a site plan, landscape plan and building elevations for a Denny's restaurant and retail space on property located on the southeast corner of Brand Road and FM 544 at the Murphy Village Addition.

Greg Mersch
Commissioner

3. Consider and/or act on the application of Murphy Four Venture, LP requesting approval of a site plan, landscape plan, building elevations and construction plat for a proposed retail space located in the northeast corner of FM 544 and Maxwell Creek Road.

Don Reilly
Commissioner

Mahendra Parikh
Alternate

4. Discuss update on southeast sector study.

ADJOURNMENT

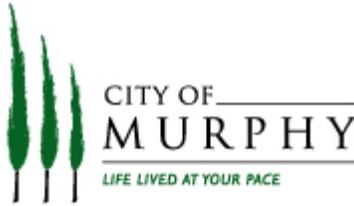
Kristen Roberts
Director of Community
Development

I certify that this is a true and correct copy of the Murphy Planning and Zoning Commission Meeting Agenda and that this notice was posted on the designated bulletin board at Murphy City Hall, 206 North Murphy Road, Murphy, Texas 75094; a place convenient and readily accessible to the public at all times, and said notice was posted July 24, 2015 by 5:00 p.m. and will remain posted continuously for 72 hours prior to the scheduled meeting pursuant to Chapter 551 of the Texas Government Code.

Kristen Roberts
Director of Community Development

Lori Knight
Administrative
Assistant

In compliance with the American with Disabilities Act, the City of Murphy will provide for reasonable accommodations for persons attending public meetings at City Hall. Requests for accommodations or interpretive services must be received at least 48 hours prior to the meeting. Please contact the City Secretary at (972) 468-4011 or squinn@murphytx.org.



Murphy Planning and Zoning Commission Regular Meeting Minutes
206 North Murphy Road
Murphy, Texas 75094
June 22, 2015

CALL TO ORDER

Chair King called the meeting to order at 6:01 p.m.

ROLL CALL & CERTIFICATION OF A QUORUM

Commissioners Present: Jon King, Steve Levy, Camille Hooper, John Johnson, Lloyd Jones, Don Reilly and Mahendra Parikh

Commissioners Absent: Greg Mersch

City Staff Present: James Fisher, City Manager
Lori C. Knight, Administrative Assistant
Andy Messer, City Attorney

Lori C. Knight certified a quorum.

SEAT ALTERNATES AS NEEDED

Alternate Mahendra Parikh was seated.

PUBLIC COMMENTS

INDIVIDUAL CONSIDERATION

1. Consider and/or act on the Minutes from the regular April 27, 2015 and May 18, 2015 Planning and Zoning Commission meetings.

COMMISSION ACTION

Vice Chair Levy made a motion to approve the minutes for April 27, 2015 and May 18, 2015. Commissioner Hooper seconded the motion. Motion passed 7-0.

2. Consider and/or act on the application of property owner Suzanne Athey requesting approval of a site plan, landscape plan, building elevations and construction plat for an office building located on Lot 4, Block B at the Murphy Village Addition.

Staff Discussion

City Manager James Fisher stated that the applicant had submitted a site plan, building elevation plans, landscape plans and construction plat that would allow for development of an office building. He stated that the proposed building elevations and materials had met requirements as set forth by the Planned Development District. Mr. Fisher stated that the applicant had shown two colors of the

proposed roof materials. One color matches the roof of the developed property to the west: red. The other color is a more muted color as requested, meeting the City's Code: brown. Mr. Fisher said that prior to any signage installation the sign plans for the building and on the site would go through standard staff review to ensure compliance with the Sign Ordinance.

Mr. Fisher stated that the red roof on the building elevations would match the other building.

COMMISSION ACTION

Vice Chair Levy made a motion to approve the submittal as presented with the red color shown on the roof. Commissioner Hooper seconded the motion. Motion passed 7-0.

EXECUTIVE SESSSION

In accordance with Texas Government Code, Section 551.001, *et seq.*, the Planning & Zoning Commission will now recess into Executive Session (closed meeting) to discuss the following:

A. §551.071: Consultation with City's Attorney on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the Texas Open Meetings Act regarding zoning, land use, and open space/parks.

The Planning and Zoning Commission convened into executive session at 6:16 p.m.

RECONVENE INTO REGULAR SESSSION

The Planning & Zoning Commission will reconvene into Regular Session, pursuant to the provisions of Chapter 55.001, *et seq.*, Texas Government Code, to take any action necessary regarding:

A. §551.071: Consultation with City's Attorney on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the Texas Open Meetings Act regarding zoning, land use, and open space/parks.

The Planning and Zoning Commission reconvened into regular session at 6:32 p.m. There was no action taken as a result of the Executive Session.

INDIVIDUAL CONSIDERATION (CON'T)

3. Hold a public hearing and consider and/or act on the adoption of a temporary moratorium on property development within a defined geographic boundary in the Southeastern portion of the City in accordance with Texas Local Government Chapter 212.

PUBLIC HEARING OPENED AT 6:33 P.M.

PUBLIC HEARING CLOSED AT 6:33 P.M.

COMMISSION ACTION

Commissioner Hooper made a motion to adopt a temporary moratorium on the property development within a defined geographic boundary in the Southeastern portion of the City in

accordance with Texas Local Government Chapter 212. Vice Chair Levy seconded the motion. Motion passed 7-0.

STAFF UPDATES

Next P&Z meeting is on July 27, 2015.

ADJOURNMENT

With no other business before the Commission, Chair King adjourned the meeting at 6:34 p.m.

APPROVED:

Jon King, Chairman

Attest:

Secretary

Issue

Consider and/or act on the application of property owner McBirney 544 Joint Venture requesting approval of a site plan, landscape plan and building elevations for a Denny's restaurant and retail space on property zoned PD 09-12-823 at the southeast corner of FM544 and Brand Road.

Summary

The applicant submitted a site plan, landscape plan and building elevations for approval that would allow for development of a Denny's restaurant and retail space. The retail space is being actively marketed and will be a small retail user.

Total square footage of the two proposed buildings is approximately 6,200 square feet; 4,400 square foot proposed for Denny's and 2,000 square feet proposed for retail space.

- The property is zoned PD 09-12-823.
- The proposed restaurant and retail space are permitted uses as noted in the Planned Development District section VI. Specific Regulations, A. Permitted Uses, 49. Restaurant and 51. Retail Store.

Considerations

Site Plan

The proposed site plan has been reviewed by staff and meets the requirements as set forth by the Planned Development District and the Code of Ordinances.

Building Elevations

The proposed building elevation and materials meet requirements as set forth by the Planned Development District.

Landscape Plan

The proposed landscape and materials used have met requirement standards including landscape setbacks as detailed within the Planned Development District.

Additional Considerations for Notation

Prior to any signage installation, the sign plans for the building and on the site will be submitted to Customer Service, go through standard staff review to ensure compliance with the Sign Ordinance and Planned Development District and will be permitted separately after staff approved.

Staff Recommendation

Staff recommends approval of the site plan, landscape plan and building plans as submitted with the considerations as noted in this agenda item.

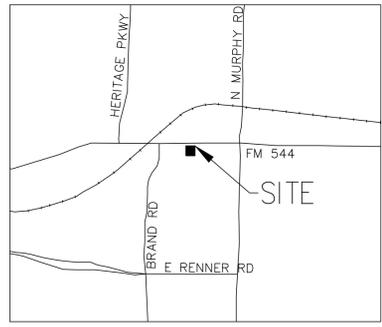
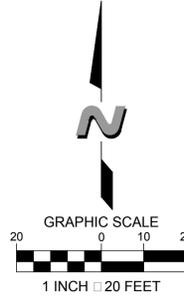
Attachments

Site Plan

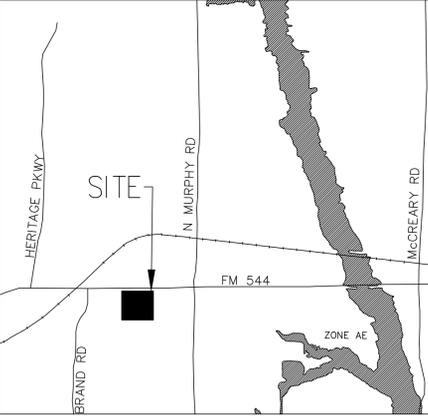
Building Elevations

Landscape Plan

THESE PLANS ARE THE PROPERTY OF PROFESSIONAL SERVICES AND ARE PROTECTED BY COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS INCLUDING COPYRIGHT. THEY MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN CONSENT OF THE DIMENSION GROUP.



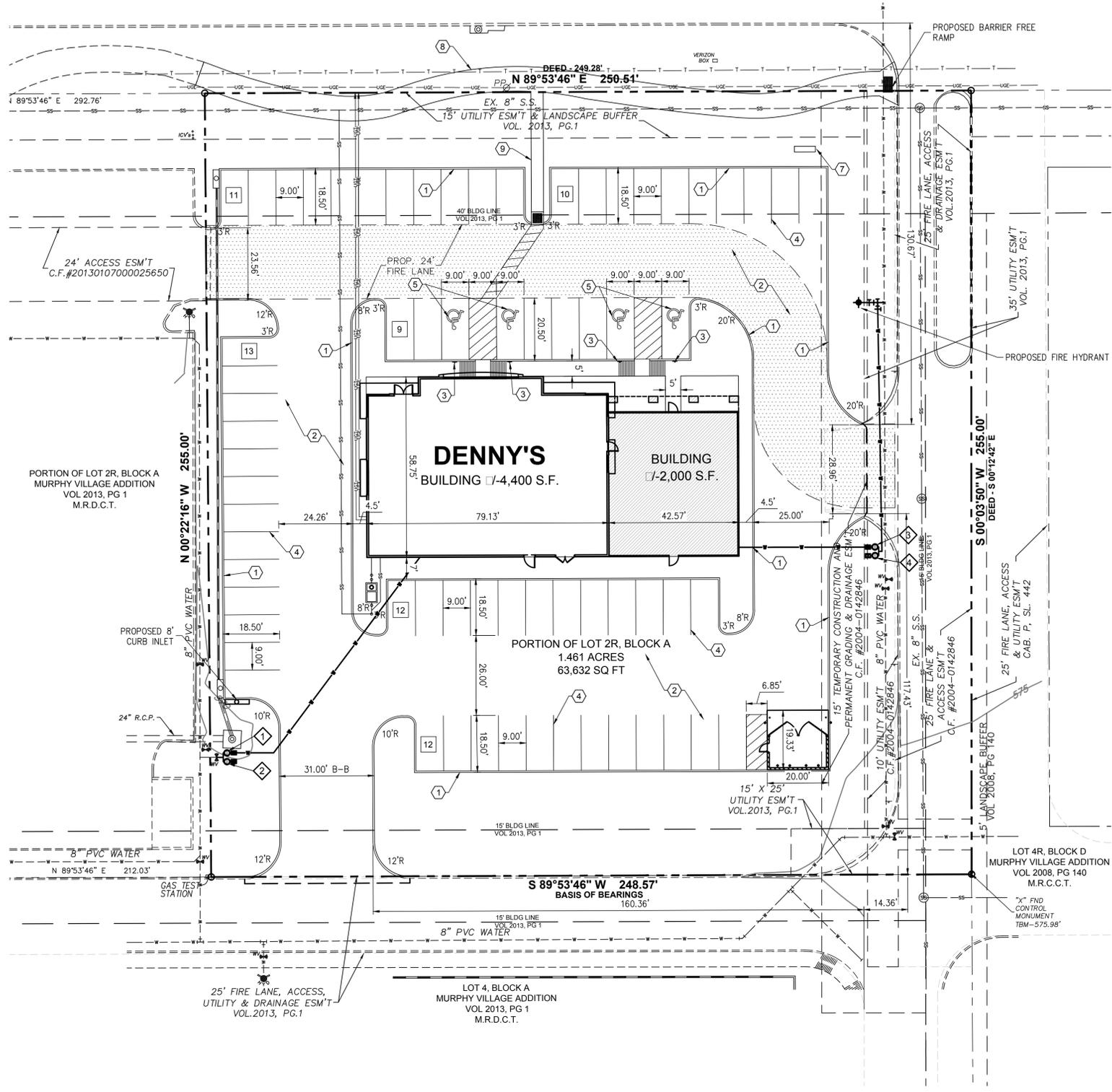
VICINITY MAP
N.T.S.



FEMA MAP
N.T.S.

WATER METER SCHEDULE

ID	TYPE	SI	E	REMARK
1	DOMESTIC	1-1/2"		PROPOSED
2	IRRIGATION	1"		PROPOSED
3	DOMESTIC	1-1/2"		PROPOSED
4	IRRIGATION	1"		PROPOSED



- SITE PLAN KEY NOTES:**
- 1 CONSTRUCT 6" CURB & GUTTER
 - 2 CONSTRUCT 6" CONCRETE PAVEMENT SECTION (RE: GEOTECH)
 - 3 INSTALL HANDICAP VAN AND CAR SIGN (RE: A.D.A. PLAN)
 - 4 4" WHITE PAVEMENT SOLID PARKING STRIPES
 - 5 HANDICAP PARKING LOGO
 - 6 STANDARD AREA LIGHT POLE (RE: PHOTOMETRIC PLAN)
 - 7 NEW I.D. MONUMENT SIGN
 - 8 NEW 8' WIDE MEANDERING CONCRETE SIDEWALK
 - 9 NEW 4' WIDE A.D.A. ACCESS SIDEWALK

zoning	R (RETAIL DISTRICT)
PROPOSED USE	RESTAURANT & RETAIL
LOT AREA	63,632 S.F. (1.461 ACRES)
BUILDING SQUARE FOOTAGE	4,400S.F. RESTAURANT 2,000S.F. RETAIL
LOT COVERAGE	5.74%
BUILDING HEIGHT	30'-0"
TOTAL IMPERVIOUS SURFACE	46,470 S.F. OR 73%
PARKING REQUIRED	50 SPACES
PARKING PROVIDED	57 SPACES
HANDICAP PARKING REQUIRED	4 SPACES
HANDICAP PARKING PROVIDED	4 SPACES
LANDSCAPING AREA	17,162 S.F. OR 27%

SITE PLAN
MURPHY VILLAGE ADDITION
LOT 2R, BLOCK A
1.461 ACRES (63,632 SQ. FT) OUT OF THE
JAMES MAXWELL SURVEY, ABSTRACT NO. 580
CITY OF MURPHY, COLLIN COUNTY, TEXAS

SURVEYOR
 TEXAS HERITAGE SURVEYING, INC.
 10610 METRIC DRIVE, SUITE 124
 DALLAS, TEXAS 75243
 CONTACT: DOUG STEWART, R.P.L.S.
 TEL: (214) 340-9700

APPLICANT/ENGINEER
 THE DIMENSION GROUP
 TBPE FIRM # F-8396
 10755 SANDHILL ROAD
 DALLAS, TEXAS 75238
 CONTACT: DANIEL MURPHREE
 TEL: (214) 343-9400

[00-TDC Civil Border: 74x36.dwg] [X-REF.dwg] Drawing name: L:\Contidential Restaurants\Murphy\3-15-304_Murphy\02_Civil\Current\03-15304-SITE PLAN-C3.0.dwg Jul 20, 2015 - 8:53am

CAUTION NOTICE TO CONTRACTORS
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL 811 AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.



#	DATE	REVISION DESCRIPTION	BY
1	7/9/15	1st CITY SUBMITTAL	TGD

project no.	15-304	drawn by	CS
date	07/9/2015	designed by	ML
dwg.	03-15304-SITE PLAN-C3.0	approved by	MS

ARCHITECTURE • CIVIL ENGINEERING • MEP ENGINEERING • PLANNING

THE DIMENSION GROUP

10755 Sandhill Road, Dallas, Texas 75238
 TEL: 214-343-9400 FAX: 214-341-9060 www.DimensionGrp.com

SITE PLAN

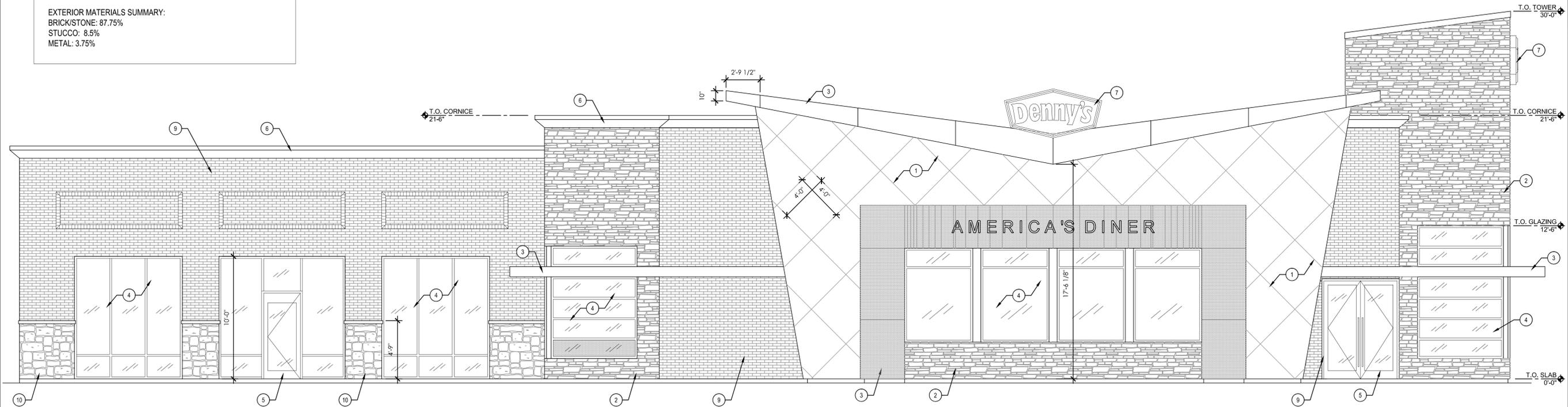
DENNY'S
 FM 544 NEAR BRAND ROAD
 MURPHY, TEXAS

SHEET

C3.0

EXTERIOR MATERIALS SUMMARY

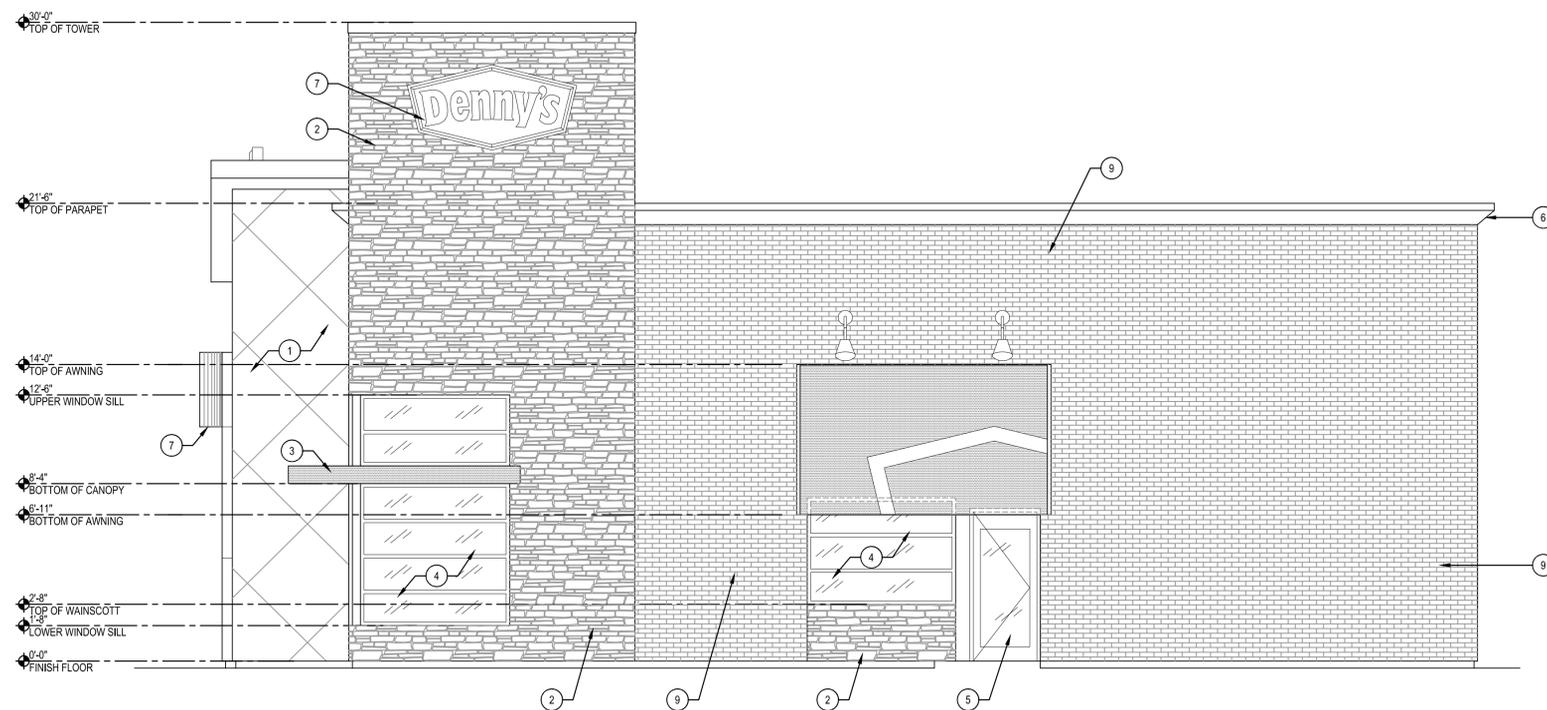
EXTERIOR MATERIALS SUMMARY:
 BRICK/STONE: 87.75%
 STUCCO: 8.5%
 METAL: 3.75%



1 FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS SUMMARY

EXTERIOR MATERIALS SUMMARY:
 BRICK/STONE: 91.75%
 STUCCO: 6.25%
 METAL: 2.0%



2 RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"

KEYNOTES

1. STUCCO
2. FULL SIZE STONE (NOT CULTURED) TO MATCH LOOK OF ELDORADO STONE - MONTECITO CLIFFSTON
3. COMPOSITE PANEL CLADDING: VEE PORTAL METAL PANEL SYSTEM - ALPOLIC - TITANIUM
4. ALUMINUM FRAMED WINDOWS
5. STOREFRONT ENTRY DOOR SYSTEM
6. EIFS CROWN MOULDING
7. DENNY'S SIGN
8. H.M. MAN DOOR
9. FULL SIZE BRICK
10. AUSTIN CHALK STONE (FULL SIZE - NOT CULTURED)



ISSUE FOR BID
 PURPOSES ONLY

SEC CORNER OF FM 544
 AND BRAND ROAD
 MURPHY, TX

REVISIONS:

PROJECT NUMBER: 15-304

DATE: 07-15-2015

EXTERIOR
 ELEVATIONS

A4.1



ISSUE FOR BID
PURPOSES ONLY

SEC CORNER OF FM 544
AND BRAND ROAD
MURPHY, TX

REVISIONS:	

PROJECT NUMBER: 15-304

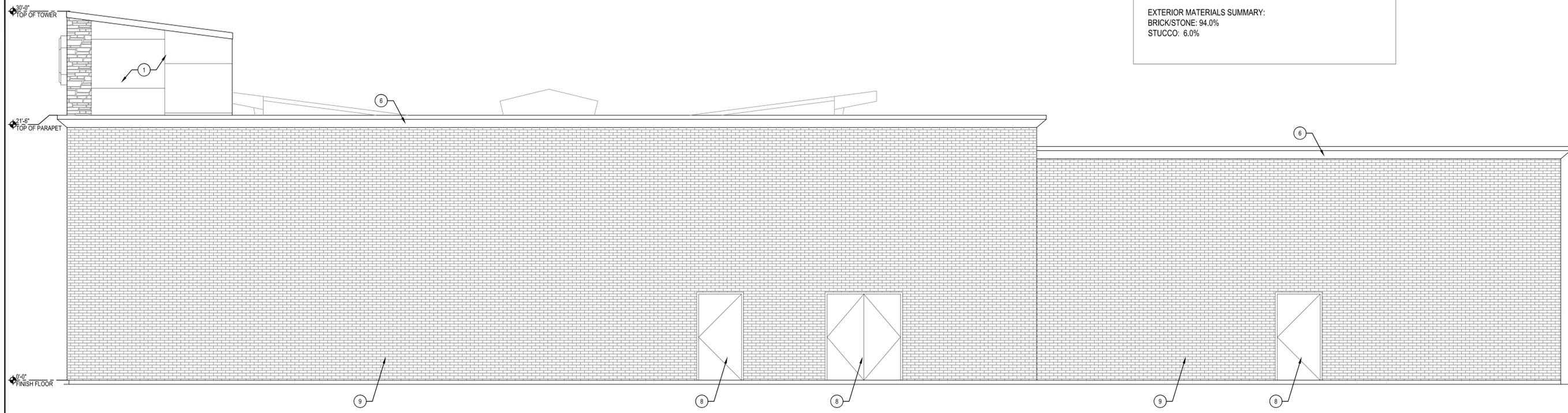
DATE: 07-15-2015

EXTERIOR
ELEVATIONS

A4.2

EXTERIOR MATERIALS SUMMARY

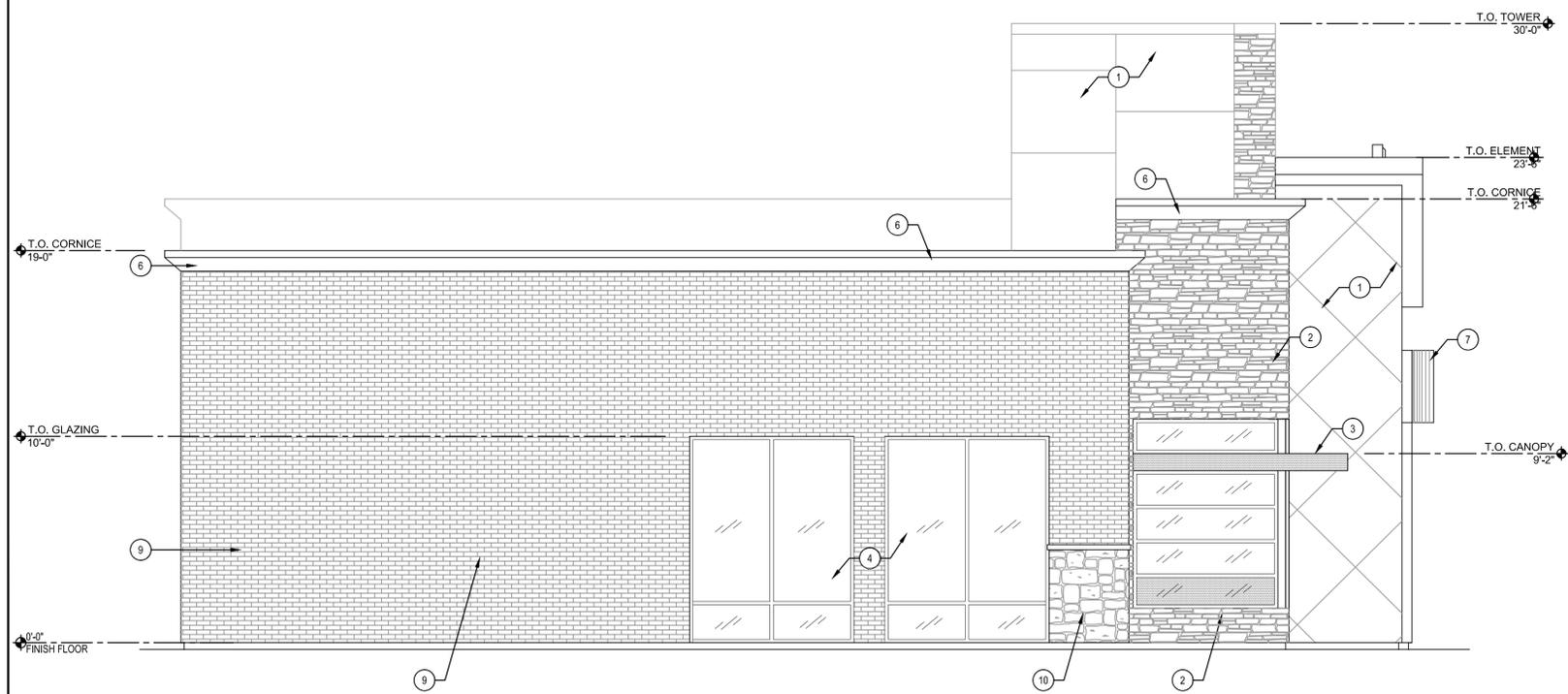
EXTERIOR MATERIALS SUMMARY:
BRICK/STONE: 94.0%
STUCCO: 6.0%



1 REAR ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS SUMMARY

EXTERIOR MATERIALS SUMMARY:
BRICK/STONE: 88.5%
STUCCO: 9.5%
METAL: 2.0%



2 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

KEYNOTES #

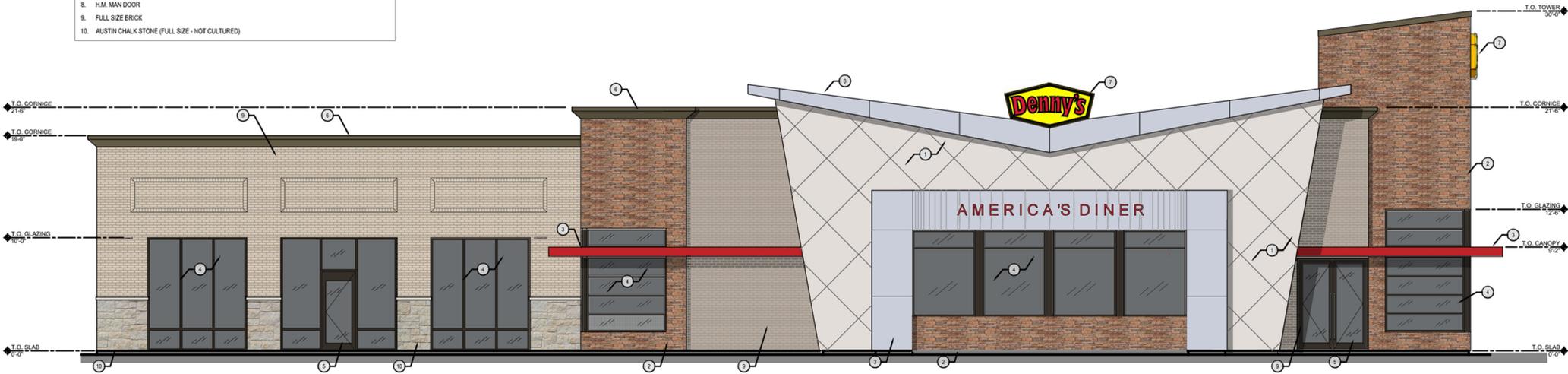
1. STUCCO
2. FULL SIZE STONE (NOT CULTURED) TO MATCH LOOK OF ELDERADO STONE - MONTECITO CLIFFSTON
3. COMPOSITE PANEL CLADDING: VEE PORTAL METAL PANEL SYSTEM - ALPOLIC - TITANIUM
4. ALUMINUM FRAMED WINDOWS
5. STOREFRONT ENTRY DOOR SYSTEM
6. EIFS CROWN MOULDING
7. DENNY'S SIGN
8. H.M. MAN DOOR
9. FULL SIZE BRICK
10. AUSTIN CHALK STONE (FULL SIZE - NOT CULTURED)

KEYNOTES ①

1. STUCCO
2. FULL SIZE STONE (NOT CULTURED) TO MATCH LOOK OF ELDORADO STONE - MONTECITO CLIFFSTON
3. COMPOSITE PANEL CLADDING: VEE PORTAL METAL PANEL SYSTEM - ALPOLIC - TITANIUM
4. ALUMINUM FRAMED WINDOWS
5. STOREFRONT ENTRY DOOR SYSTEM
6. EIFS CROWN MOULDING
7. DENNY'S SIGN
8. H.M. MAN DOOR
9. FULL SIZE BRICK
10. AUSTIN CHALK STONE (FULL SIZE - NOT CULTURED)

EXTERIOR MATERIALS SUMMARY

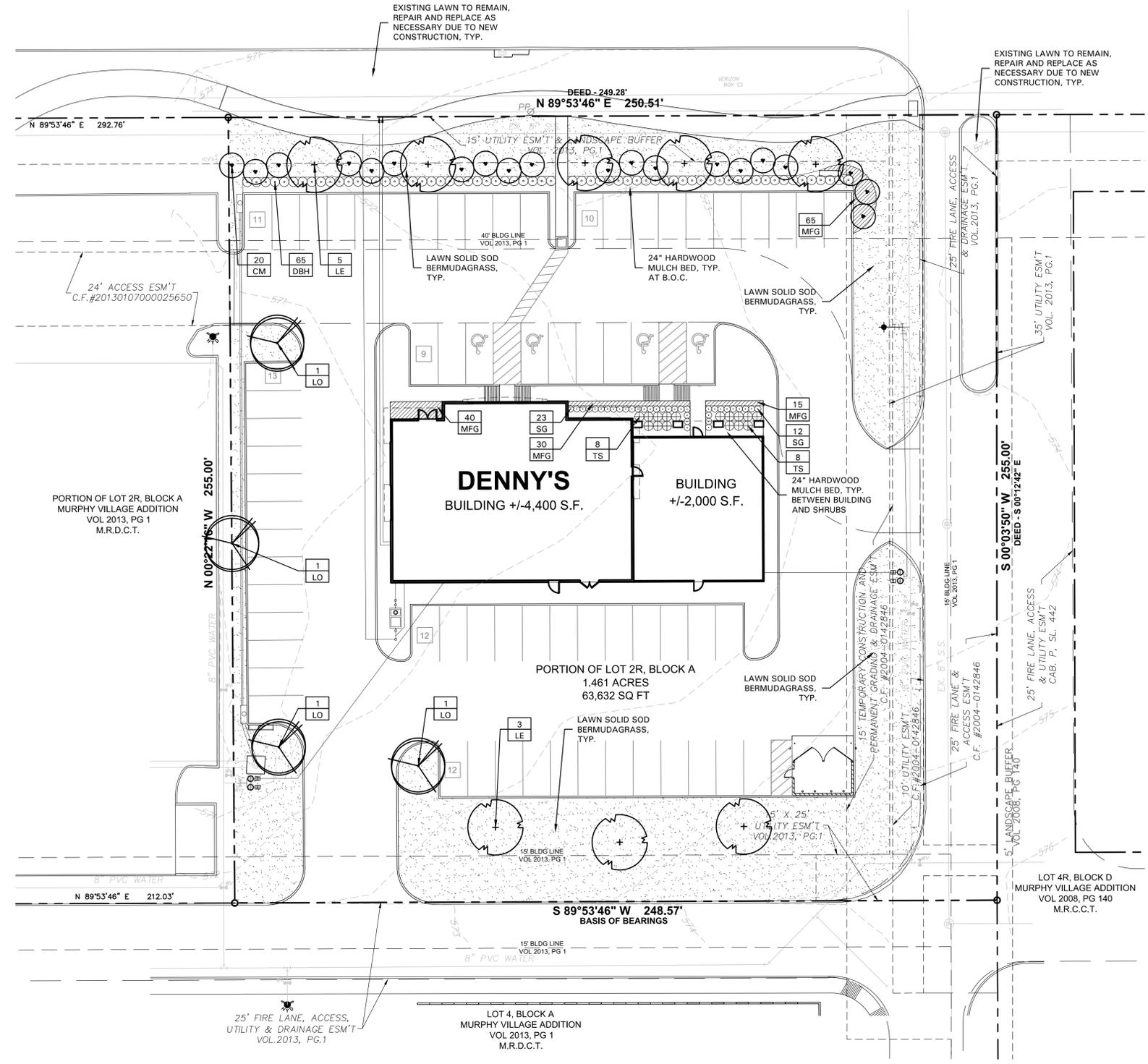
EXTERIOR MATERIALS SUMMARY:
 BRICK/STONE: 87.75%
 STUCCO: 8.5%
 METAL: 3.75%



FRONT ELEVATION

PROPOSED DENNY'S
 FM 455 MURPHY, TX

THESE PLANS ARE INSTRUMENTS OF PROFESSIONAL SERVICE. ANY AND ALL RIGHTS RESERVED INCLUDING COPYRIGHT. THEY MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN CONSENT OF THE DIMENSION GROUP.



SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES					
CM	<i>Lagerstroemia indica</i> 'Natchez'	Crepe Myrtle 'Natchez'	20	30 gal.	container grown, 3-5 trunk, no cross canes, 8' ht., 4' spread, matching
LE	<i>Ulmus parvifolia</i> 'Sempervirens'	Lacebark Elm	8	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
LO	<i>Quercus virginiana</i>	Live Oak	4	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
SHRUBS/GROUND COVER					
DBH	<i>Ilex cornuta</i> 'Burfordii' Nama	Dwarf Burford Holly	65	5 gal.	container full, 24" spread, 36" o.c.
MFG	<i>Nassella tenuissima</i>	Mexican Feathergrass	150	1 gal.	container full, 18" o.c.
SG	<i>Salvia greggii</i> 'Red'	Salvia Greggii 'Red'	35	5 gal.	container full, 20" spread, 24" o.c.
TS	<i>Leucophyllum frutescens</i> 'Green Cloud'	Texas Sage 'Green Cloud'	16	5 gal.	container full, 20" spread, 36" o.c.

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES. PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN. ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

SOLID SOD NOTES

- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDUATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVERSEED BERMUDAGRASS SOD WITH WINTER RYEGRASS AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

LANDSCAPE TABULATIONS

THE CITY OF MURPHY, TEXAS

SITE LANDSCAPE

- A minimum of twenty (20%) percent of the site shall be pervious, permanently landscaped area.

Total Site Area: 63,632 s.f.	
Required 12,726 s.f. (20%)	Provided 16,409 s.f. (26%)

STREET BUFFER

- One large shade tree and four small ornamental trees shall be required per fifty (50) linear feet of street frontage.

FM 544 - 251 L.F.	
Required (5) trees, 3" cal.	Provided (5) trees, 3" cal.
(20) ornamental trees	(20) ornamental trees

PARKING LOT LANDSCAPE

- A minimum of one (1) shade tree shall be planted for every ten (10) parking spaces.
- All parking island shall contain at least one (1) tree.

Total Parking = 68 spaces	
Required (7) trees, 3" cal.	Provided (7) trees, 3" cal.

LANDSCAPE PLAN
MURPHY VILLAGE ADDITION
LOT 2R, BLOCK A
1.461 ACRES (63,632 SQ. FT) OUT OF THE
JAMES MAXWELL SURVEY, ABSTRACT NO. 580
CITY OF MURPHY, COLLIN COUNTY, TEXAS

SURVEYOR TEXAS HERITAGE SURVEYING, INC. 10610 METRIC DRIVE, SUITE 124 DALLAS, TEXAS 75243 CONTACT: DOUG STEWART, R.P.L.S. TEL: (214) 340-9700	APPLICANT/ENGINEER THE DIMENSION GROUP TBPE FIRM # F-8396 10755 SANDHILL ROAD DALLAS, TEXAS 75238 CONTACT: DANIEL MURPHREE TEL: (214) 343-9400
---	---



BELLE FIRMA

- 4245 North Central Expy
- Suite 501
- Dallas, Texas 75205
- 214.865.7192 office



#	DATE	REVISION DESCRIPTION	BY
1	7/9/15	1st CITY SUBMITTAL	TGD
2			
3			
4			

project no.	15-304	drawn by	APL
date	07/09/2015	designed by	APL
dwg.		approved by	KAH

THE DIMENSION GROUP

ARCHITECTURE • CIVIL ENGINEERING • MEP ENGINEERING • PLANNING

10755 Sandhill Road, Dallas, Texas 75238
 TEL: 214-343-9400 FAX: 214-341-9060 www.DimensionGrp.com

TBPE FIRM # F-8396

LANDSCAPE PLAN

DENNY'S
 FM 544 NEAR BRAND ROAD
 MURPHY, TEXAS

SHEET

L1.01

THESE PLANS ARE INSTRUMENTS OF PROFESSIONAL SERVICE. ANY REVISIONS TO THESE PLANS SHALL BE MADE BY THE DESIGNER. NO PART OF THESE PLANS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF THE DIMENSION GROUP.

SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

- A. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

- A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:
 1. Planting (trees, shrubs and grasses)
 2. Bed preparation and fertilization
 3. Notification of sources
 4. Water and maintenance until final acceptance
 5. Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) - plant material
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards
- D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel and crushed stone. Samples shall be approved by Owner's Authorized Representative before use on the project.

1.5 JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below final finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
 1. The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show healthy growth and satisfactory foliage conditions.
 2. Maintenance shall include watering of trees and plants, cultivation, weeding, spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to written acceptance.
- B. Guarantee:

1. Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died to that shape, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.
2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, undamaged condition and there is a stand of grass in all lawn areas. At that time, the Owner will assume maintenance on the accepted work.
- C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting. In the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense to the Landscape Contractor.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable federal, state, county and local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required landscape planting and fertilization by a qualified foreman acceptable to Landscape Architect.
- C. Selection of Plant Material:
 1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and / or exceed project specifications.
 2. Substitutions: Do not make plant material substitutions. If the specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with proposal for use of equivalent material. At the time bids are submitted, the Contractor is assumed to have located the materials necessary to complete the job as specified.
 3. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
 4. Measurements: Measure trees with branches and trunks or canes in their normal position. Do not prune to obtain required sizes. Take caliper measurements six inches above ground for trees up to and including 4" caliper size, and twelve inches above ground for larger sizes. Measure main body of all plant material of height and spread dimensions,

- do not measure from branch or root tip-to-tip.
- 5. Owner's Authorized Representative shall inspect all plant material with requirements for genus, species, cultivar / variety size and quality.
- 6. Owner's Authorized Representative retains the right to further inspect all plant material upon arrival to the site and during installation for size and condition of root balls and root systems, limbs, branching habit, insects, injuries and latent defects.
- 7. Owner's Authorized Representative may reject unsatisfactory or defective material at any time during the process work. Remove rejected materials immediately from the site and replace with acceptable material at no additional cost to the Owner. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
 1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.
 2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.
- B. Delivery:
 1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored on site.
 2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
 3. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
 4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
 5. Notify Owner's Authorized Representative of delivery schedule 72 hours in advance job site.
 6. Remove rejected plant material immediately from job site.
 7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Owner's Authorized Representative and his decision as to their acceptability shall be final.
- B. Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable distortions, insect eggs and larvae, and are to be of specimen quality.
- D. Approval: All plants which are found unsuitable in growth, or are rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plant as

- specified at no additional cost to the Owner.
- E. Trees shall be healthy, full-branched, well-shaped, and shall meet the minimum trunk and diameter requirements of the plant schedule. Balls shall be firm, neat, slightly tapered and well wrapped in burlap. Any tree loose in the ball or with a broken root ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball. (Nomenclature conforms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.)
- F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect prior to final acceptance, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

- A. Sandy Loam:
 1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
 2. Physical properties as follows:
 - a. Clay - between 7-27 percent
 - b. Silt - between 15-25 percent
 - c. Sand - less than 52 percent
 3. Organic matter shall be 3%-10% of total dry weight.
 4. If requested, Landscape Contractor shall provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- F. Organic Fertilizer: Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- G. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU) or UFJ with a minimum 8% sulfur and 4% iron, plus micronutrients.
- H. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: 3/16" x 4" x 16' - dark green, DURAEDGE® steel landscape edging manufactured by The J.D. Russell Company under its trade name DURAEDGE Heavy Duty Steel.
- B. Staking Material for Shade Trees: refer to details.
- C. Gravel: Washed native pea gravel, graded 1 inch to 1-1/2 inch.
- D. Filter Fabric: "Mirafri Mirascapes" by Mirafi Construction Products available at Lone Star Products, Inc., (469) 523-0444 or approved equal.
- E. River Rock: "Colorado" or native river rock, 2" - 4" dia.

- F. Decomposed Granite: Base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed earth base.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:
 1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per Manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 2. All planting areas shall receive a two (2") inch layer of specified mulch.
 3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- C. Grass Areas:
 1. Blocks of sod should be laid joint to joint (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.

3.2 INSTALLATION

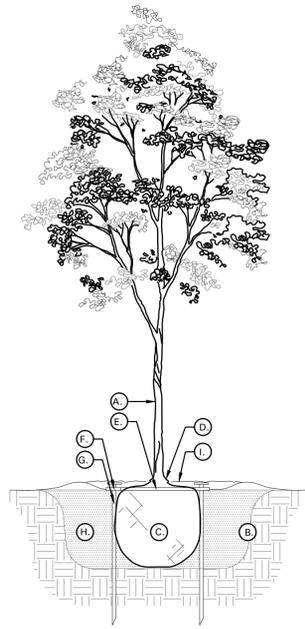
- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Owner's Authorized Representative for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.
- F. Shrub and tree pits shall be no less than twenty-four (24") inches wider than the lateral dimension of the earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over three-quarter (¾") inch diameter. Plants should be thoroughly moist before removing containers.
- G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.
- H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per

- tree planting detail as approved by the Landscape Architect if the percolation test fails.
- I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top ½ of the ball, as well as all nylon, plastic string and wire. Container trees will usually be root bound, if so follow standard nursery practice of "root scoring".
- J. Do not wrap trees.
- K. Do not over prune.
- L. Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
- M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.
- N. Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3) feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
- O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure trees against seasonal prevailing winds.
- P. Pruning and Mulching: Pruning shall be directed by the Landscape Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by the National Arborist Association.
 1. Dead wood, suckers, broken and badly bruised branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.
 2. Pruning shall be done with clean, sharp tools.
 3. Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.
- Q. Steel Curbing Installation:
 1. Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
 2. All steel curbing shall be free of kinks and abrupt bends.
 3. Top of curbing shall be ½" maximum height above final finished grade.
 4. Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
 5. Do not install steel edging along sidewalks or curbs.
 6. Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

3.3 CLEANUP AND ACCEPTANCE

- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.

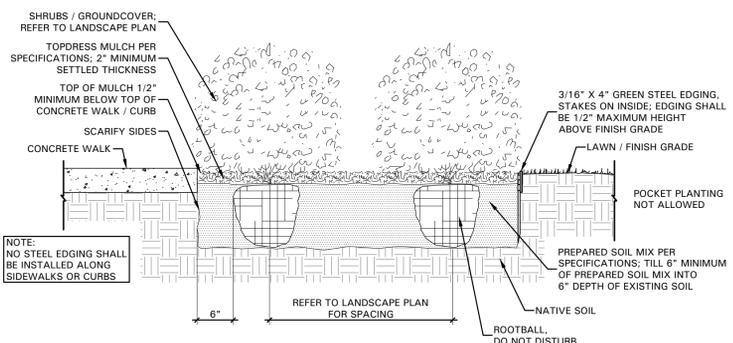
END OF SECTION



01 TREE PLANTING DETAIL
NOT TO SCALE

TREE PLANTING DETAIL LEGEND AND NOTES

- A. TREE: TREES SHALL CONFORM WITH LATEST AMERICAN STANDARD FOR NURSERY STOCK, www.arla.org
- B. TREE PIT: WIDTH TO BE AT LEAST TWO (2) TIMES THE DIAMETER OF THE ROOT BALL CENTER TREE IN HOLE & REST ROOT BALL ON UNDISTURBED NATIVE SOIL.
- C. ROOT BALL: REMOVE TOP ½ BURLAP AND ANY OTHER FOREIGN OBJECT; CONTAINER GROWN STOCK TO BE INSPECTED FOR GIRDLING ROOTS.
- D. ROOT FLARE: ENSURE THAT ROOT FLARE IS EXPOSED, FREE FROM MULCH, AND AT LEAST TWO INCHES ABOVE GRADE. TREES SHALL BE REJECTED WHEN GIRDLING ROOTS ARE PRESENT & ROOT FLARE IS NOT APPARENT.
- E. ROOTBALL ANCHOR RING: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. PLACE ROOTBALL ANCHOR RING ON BASE OF ROOTBALL, TRUNK SHOULD BE IN THE CENTER OF THE RING.
- F. 'U' BRACKET.
- G. NAIL STAKE: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. INSTALL NAIL STAKES WITH HAMMER OR MALLET FIRMLY INTO UNDISTURBED GROUND. DRIVE NAIL STAKES FLUSH WITH 'U' BRACKET ADJACENT TO ROOTBALL (DO NOT DISTURB ROOTBALL).
- H. BACKFILL: USE EXISTING NATIVE SOIL (no amendments) WATER THOROUGHLY TO ELIMINATE AIR POCKETS.
- I. MULCH: DOUBLE SHREDDED HARDWOOD MULCH 2 INCH SETTLED THICKNESS, WITH 2" HT. WATERING RING; ENSURE THAT ROOT FLARE IS EXPOSED. BELOW GROUND STAKE SHOULD NOT BE VISIBLE.
- J. TREE STAKES: TREE STAKE SOLUTIONS 'SAFETY STAKE' BELOW GROUND MODEL AVAILABLE FROM: Tree Stake Solutions ATTN: Jeff Tuley (803) 676-6143 jeff@treestakesolutions.com www.treestakesolutions.com
- K. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY OF THE MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION OF TREE STAKES. CONTRACTOR SHALL REFER TO MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND OTHER REQUIREMENTS FOR TREE STAKE INSTALLATION.



02 SHRUB / GROUND COVER DETAIL
NOT TO SCALE

LANDSCAPE SPECIFICATIONS AND DETAILS
MURPHY VILLAGE ADDITION
LOT 2R, BLOCK A
1.461 ACRES (63,632 SQ. FT) OUT OF THE
JAMES MAXWELL SURVEY, ABSTRACT NO. 580
CITY OF MURPHY, COLLIN COUNTY, TEXAS

SURVEYOR
TEXAS HERITAGE SURVEYING, INC.
10610 METRIC DRIVE, SUITE 124
DALLAS, TEXAS 75243
CONTACT: DOUG STEWART, R.P.L.S.
TEL: (214) 340-9700

APPLICANT/ENGINEER
THE DIMENSION GROUP
TBPE FIRM # F-8396
10755 SANDHILL ROAD
DALLAS, TEXAS 75238
CONTACT: DANIEL MURPHY
TEL: (214) 343-9400



• 4245 North Central Expy
• Suite 501
• Dallas, Texas 75205
• 214.865.7192 office



#	DATE	REVISION DESCRIPTION	BY
1	7/9/15	1st CITY SUBMITTAL	TGD
2			
3			
4			
5			
project no.		15-304	drawn by APL
date		07/09/2015	designed by APL
dwg.			approved by KAH

THE DIMENSION GROUP
ARCHITECTURE • CIVIL ENGINEERING • MEP ENGINEERING • PLANNING
10755 Sandhill Road, Dallas, Texas 75238
TEL: 214-343-9400 FAX: 214-341-9060 www.DimensionGrp.com

LANDSCAPE SPECIFICATIONS AND DETAILS
DENNY'S
FM 544 NEAR BRAND ROAD
MURPHY, TEXAS

SHEET
L1.02

THESE PLANS ARE INSTRUMENTS OF PROFESSIONAL SERVICE. ANY REUSE, REPRODUCTION, OR TRANSMISSION OF ANY PART OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF THE DIMENSION GROUP IS STRICTLY PROHIBITED. ALL RIGHTS RESERVED, INCLUDING COPYRIGHT. THEY MAY BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON.

SECTION 32 8423 - UNDERGROUND IRRIGATION SLEEVES AND UTILITY CONDUITS

PART 1 - GENERAL

- 1.1 DESCRIPTION
 - A. Provide underground irrigation sleeves as indicated on the drawings.

1.2 RELATED WORK SPECIFIED ELSEWHERE

- A. Section 32 8424 - Irrigation System

1.3 REFERENCED STANDARDS

- A. American Society for Testing and Materials:
 1. ASTM - D2441 Poly (Vinyl Chloride) (PVC) Plastic Pipe (SDR-PR)
 2. ASTM - D2466 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Socket Type, Schedule 40.
 3. ASTM - D2564 Solvent Cements for Poly Vinyl Chloride Plastic Pipe and Fittings.

PART 2 - MATERIALS

2.1 DEFINITIONS

- A. Sleeve - A pipe within which another pipe is placed for carrying water or other utilities to be installed.
- B. Wire Sleeves - A pipe used to carry low voltage irrigation wires for operation of the electric solenoid valves.

2.2 GENERAL

- A. Polyvinyl Chloride Pipe (PVC) - Manufactured in accordance with standards noted herein:
 1. Marking and Identification - Permanently marked with SDR number, ASTM standard number, and the NSF (National Sanitation Foundation) seal.
 2. Solvent - As recommended by manufacturer to make solvent-welded joints. Thoroughly clean pipe and fittings before applying solvent.

PART 3 - EXECUTION

3.1 INSTALLATION

- A. Coverage - Provide twenty-four inches (24") minimum cover over top of sleeve from finish grade.
 - B. Sleeve Extensions - Extend sleeves one foot (1') past edge of pavement or concrete walls. Install 90 degree elbow on each sleeve end and add additional length of same size pipe to extend above finish grade by twelve inches (12"). Cap pipe ends using duct tape.
- 3.2 BACKFILL
- A. Compaction - Place backfill over sleeves in six (6") inch lifts. Tamp firmly into place taking care not to damage sleeve. Complete backfill and compaction to prevent any future settlement. Compact to 85% Standard Proctor.
 - B. Damage - Repair any damage resulting from improper compaction including pavement repair and replacement.

END OF SECTION

SECTION 32 8424 - IRRIGATION SYSTEM

PART 1 - GENERAL

1.1 SCOPE

- A. Provide complete sprinkler installation as detailed and specified herein, includes furnishing all labor, material, tools, equipment, and related items for the complete and proper

installation of the irrigation system as indicated by the Drawings. All costs associated with the installation, including fees for testing and inspections of the system components are the responsibility of the installer of this irrigation system.

B. Work includes but is not limited to:

1. Trenching and backfill.
2. Installation of automatic control system.
3. Upon completion of installation, supply as-built drawings showing details of construction including location of mainline piping, manual and automatic valves, electrical supply to valves, and specifically the exact location of automatic valves.

C. All sleeves as shown on plans shall be furnished by General Contractor. Meter and power source shall be provided by General Contractor.

1.2 RELATED WORK SPECIFIED ELSEWHERE

- A. Refer to Irrigation Plans for controller, head, and valve locations.
- B. Section 32 8423 - Underground Irrigation Sleeves and Utility Conduits
- C. Section 32 9300 - Landscape
- D. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

1.3 APPLICABLE STANDARDS

- A. American Standard for Testing and Materials (ASTM) - Latest edition.
 1. D2241 Poly (Vinyl Chloride) (PVC) Plastic Pipe (SDR-PR)
 2. D2464 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Thread Schedule 80
 3. D2455 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Schedule 40
 4. D2487 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Socket Type, Schedule 80
 5. D2564 Solvent Cements for Poly (Vinyl Chloride) (PVC) Plastic Pipe and Fittings
 6. D2287 Flexible Poly Vinyl Chloride (PVC) Plastic Pipe
 7. F656 Poly Vinyl Chloride (PVC) Solvent Weld Primer
 8. D2955 Making Solvent - Cemented Joints with Poly (Vinyl Chloride) (PVC) Pipe and Fittings

1.4 MAINTENANCE AND GUARANTEE

- A. The Contractor shall guarantee materials and workmanship for one (1) calendar year after final acceptance by Owner.
- B. Guarantee is limited to repair and replacement of defective materials or workmanship, including repair of backfill settlement.
- C. Provide maintenance of system, including raising and lowering of heads to compensate for lawn growth, cleaning and adjustment of heads, and raising and lowering of shrub heads to compensate for shrub growth for one (1) year after completion of installation.

1.5 SUBMITTALS

- A. Procedure: Comply with Division I requirements.
- B. Product Data: The Contractor shall submit five (5) copies of equipment manufacturer's "cut sheets" and shop drawings for approval by Owner Authorized Representative prior to installation, including, but not limited to the following: sprinkler head, pipe, controller, valves, backflow prevention devices, valve boxes, wire, conduit, fittings, and all other types of fixtures proposed to be installed on the job. The submittal shall include the manufacturer's name, model number, equipment capacity, and manufacturer's installation recommendations, if applicable, for each proposed item.
- C. No work covered under this section may begin until the

Contractor has submitted the required information. No partial submittal shall be accepted and submittals shall be neatly bound into a brochure and logically organized. After the submittal has been approved, substitutions will not be allowed, except by written consent by the Owner Authorized Representative.

D. Shop drawings include dimensions, elevations, construction details, arrangements, and capacity equipment, as well as manufacturer's installation recommendations.

E. Operating and Maintenance Manuals:

1. Provide three (3) individually bound manuals detailing operating and maintenance requirements for the irrigation system.
2. Manuals shall be delivered to the Owner Authorized Representative no later than ten (10) days prior to completion of the irrigation system.
3. Provide descriptions of all installed materials and systems in sufficient detail to permit maintenance personnel to understand, operate, and maintain the equipment.
4. Provide the following in each manual:
 - a. Index sheet with Contractor's name, address, telephone number, and contact name.
 - b. Duration of guarantee period. Include warranties and guarantees extended to the Owner by the manufacturer of all equipment.
 - c. Equipment list providing the following for each item:
 - 1) Manufacturer's name
 - 2) Make and model number
 - 3) Name and address of local part's representative
 - 4) Spare parts list in detail
 - 5) Details operating and maintenance instructions for major equipment.

F. Project Record Documents:

1. Comply with Division I requirements.
2. Locate by written dimension, routing of mainline piping, remote control valves, and quick coupling valves. Locate mainlines by single dimensions from permanent site features provided they run parallel to these elements. Locate valves, intermediate electrical connections, and quick couplers by two dimensions from a permanent site feature at approximately 70 degrees to each other.
3. When dimensioning is complete, transcribe work to bond paper.
4. Submit three (3) copies of the completed as-built drawings, along with a CD with PDF files of the same, to the Owner Authorized Representative prior to final acceptance of the work. Mark drawings "Record Prints Showing Significant Changes". Date and sign drawings.

G. Quick Coupler Keys: Provide three (3) coupler keys with boiler drains attached using brass reducer.

H. Controller Keys: Provide three (3) sets of keys to controller enclosures.

I. Use of materials differing in quality, size, or performance from those specified shall only be allowed upon written approval of the Landscape Architect. The decision shall be based on comparative ability of material or article to perform fully all purposes of mechanics and general design considered to be possessed by item specified.

J. Bidders desiring to make a substitution for specified sprinklers shall submit manufacturer's catalog sheet showing full specification of each type sprinkler proposed as a substitute, including discharge in GPM maximum allowable operating pressure at sprinkler.

K. Approval of substitute sprinkler shall not relieve Irrigation Contractor of his responsibility to demonstrate that final installed sprinkler system shall operate according to intent of originally designed and specified system. If Irrigation Contractor notes any problems in head spacing or potential coverage, it is his responsibility to notify the Landscape Architect in writing, before proceeding with

work. Irrigation Contractor guarantees 100% coverage of all areas to be irrigated.

1.6 TESTING

- A. Perform testing required with other trades, including earthwork, paving, plumbing, electrical, etc., to avoid unnecessary cutting, patching, and boring.
- B. Water Pressure: This irrigation system has been designed to operate with a minimum static water pressure indicated on Drawings. The Contractor shall take a pressure reading at each water meter prior to beginning construction. Confirm findings to Owner Authorized Representative in writing. If static pressure varies from pressure stated on drawings, do not start work until notified to do so by Owner Authorized Representative.

1.7 COORDINATION

- A. Coordinate installation with other trades, including earthwork, paving, and plumbing to avoid unnecessary cutting, patching and boring.
- B. Coordinate to ensure that electrical power source is in place.
- C. Coordinate system installation with work specified in other sections and coordinate with Landscape Contractor to ensure plant material is uniformly watered in accordance with intent shown on drawings.

PART 2 - PRODUCTS

2.1 GENERAL

- A. Mainline: Mainlines are the piping from water source to operating valves. This portion of piping is subject to surges, being a closed portion of sprinkler system. Hydrant lines are considered a part of sprinkler main.
- B. Lateral Piping: Lateral piping is that portion of piping from operating valve to sprinkler heads. This portion of piping is not subject to surges, being an "open end" portion of sprinkler system.

2.2 POLY VINYL CHLORIDE PIPE (PVC PIPE)

- A. PVC pipe shall be manufactured in accordance with commercial standards noted herein.
- B. Marking and Identification: PVC pipe shall be continuously and permanently marked with the following information: manufacturer's name, pipe size, type of pipe, and material, SDR number, product standard number, and the NSF (National Sanitation Foundation) seal.
- C. PVC Pipe Fittings: Shall be of the same material as the PVC pipe specified and shall be compatible with PVC pipe furnished.

2.3 COPPER TUBING

A. Hard, straight lengths of domestic manufacture only. Do not use copper tube of foreign extrusion or any so-called irrigation tubing (thin wall).

2.4 COPPER TUBE FITTINGS

A. Cast brass or wrought copper, sweat - solder type.

2.5 WIRE

- A. Type UF with 4/64" thick waterproof insulation which is Underwriter's Laboratory approved for direct underground burial when used in a National Electric Code Class II Circuit (30 volts AC or less).
- B. Wire Connectors: Waterproof splice kit connectors. Type DBY by 3M.

2.6 SCHEDULE 80 PVC NIPPLES

- A. Composed of Standard Schedule 40 PVC Fittings and PVC

meeting noted standards. No clamps or wires may be used. Nipples for heads and shrub risers to be nominal one-half inch (1/2") diameter by eight (8") inches long, where applicable.

B. Polyethylene nipples six (6") inches long shall be used on all pop-up spray heads.

2.7 MATERIALS - SEE IRRIGATION PLAN

- A. Sprinkler heads in lawn area as specified on plan.
- B. PVC Pipe: Class 200, SDR 21
- C. Copper Tubing (City Connection): Type "M"
- D. 24V Wire: Size 14, Type UF
- E. Electric valves: Shall be all plastic construction as indicated on plans.
- F. Backflow Prevention Device: Refer to drawing requirements and flow valve. Coordinate exact location with General Contractor.

PART 3 - EXECUTION

3.1 INSTALLATION - GENERAL

- A. Staking: Before installation is started, place a stake where each sprinkler is to be located, in accordance with drawing. Staking shall be approved by Owner Authorized Representative before proceeding with work.
- B. Excavations: Excavations are unclassified and include earth, loose rock, rock or any combination thereof, in wet or dry state. Backfill trenches with material removed, provided that the earth is suitable for compaction and contains no lumps, clods, rock, debris, etc. Special backfill specifications, if furnished take preference over this general specification.
- C. Backfill: Flood or hand-tamp to prevent after settling. Hand rake trenches and adjoining area to leave grade in as good or better condition than before installation.
- D. Piping Layout: Piping layout is diagrammatic. Route piping around trees and shrubs in such a manner as to avoid damage to plantings. Do not dig within ball of newly planted trees or shrubs. In areas where existing trees are present, trenches shall be adjusted on-site to provide a minimum clearance of four (4) feet between the drip line of any tree or trench. The Contractor shall notify the Owner Authorized Representative in writing of a planned change in trench routing from that shown on the drawings.

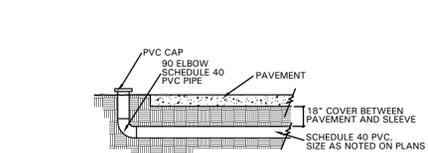
3.2 PIPE INSTALLATION

- A. Sprinkler Mains: Install a four (4") inch wide minimum trench with a minimum of eighteen (18") inches of cover.
- B. Lateral Piping: Install a four (4") inch wide minimum trench deep enough to allow for installation of sprinkler heads and valves, but in no case, with less than twelve (12") of cover.
- C. Trenching: Remove lumber, rubbish, and large rocks from trenches. Provide firm, uniform bearing for entire length of each pipe line to prevent uneven settlement. Wedging or blocking of pipe shall not be permitted. Remove foreign matter or dirt from inside of pipe before welding, and keep piping clean by approved means during and after laying of pipe.

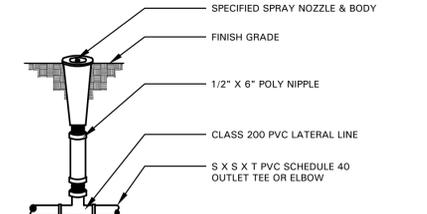
3.3 PVC PIPE AND FITTING ASSEMBLY

- A. Solvent: Use only solvent recommended by manufacturer to make solvent-welded joints. Thoroughly clean pipe and fittings of dirt, dust and moisture before applying solvent.
- B. PVC to metal connection: Work metal connections first. Use a non-hardening pipe dope such as Permatex No. 2 on threaded PVC adapters into which pipe may be welded.

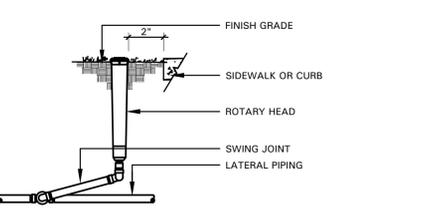
3.4 COPPER TUBING AND FITTING ASSEMBLY



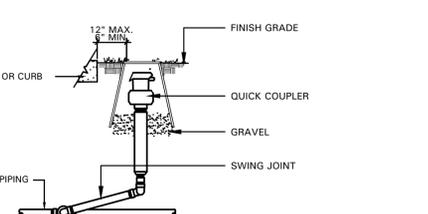
01 SLEEVE DETAIL
NOT TO SCALE



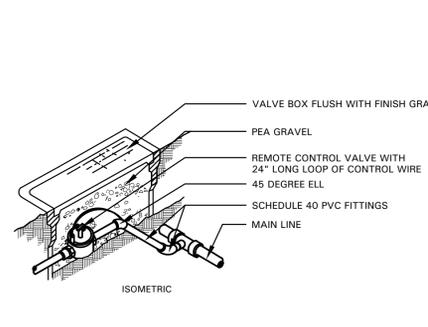
02 POP-UP LAWN SPRAY ASSEMBLY
NOT TO SCALE



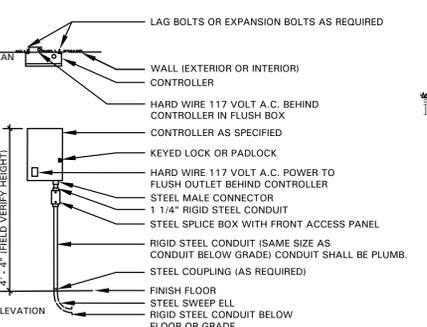
03 ROTARY HEAD
NOT TO SCALE



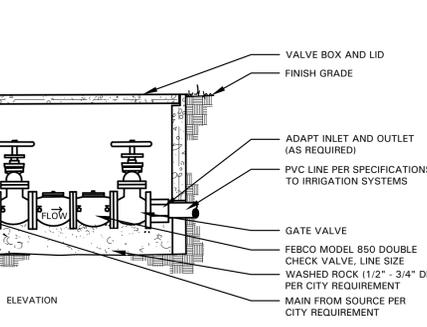
04 QUICK COUPLER
NOT TO SCALE



05 REMOTE CONTROL VALVE
NOT TO SCALE



06 WALL MOUNTED CONTROLLER
NOT TO SCALE



07 BACKFLOW PREVENTER
NOT TO SCALE

IRRIGATION SPECIFICATIONS AND DETAILS
MURPHY VILLAGE ADDITION
LOT 2R, BLOCK A
1.461 ACRES (63,632 SQ. FT) OUT OF THE
JAMES MAXWELL SURVEY, ABSTRACT NO. 580
CITY OF MURPHY, COLLIN COUNTY, TEXAS

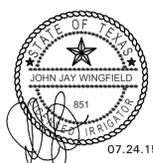
SURVEYOR
TEXAS HERITAGE SURVEYING, INC.
10610 METRIC DRIVE, SUITE 124
DALLAS, TEXAS 75243
CONTACT: DOUG STEWART, R.P.L.S.
TEL: (214) 340-9700

APPLICANT/ENGINEER
THE DIMENSION GROUP
TBPE FIRM # F-8396
10755 SANDHILL ROAD
DALLAS, TEXAS 75238
CONTACT: DANIEL MURPHREE
TEL: (214) 343-9400

BELLE FIRMA

- 4245 North Central Expy
- Suite 501
- Dallas, Texas 75205
- 214.865.7192 office

#	DATE	REVISION DESCRIPTION	BY
1	7/9/15	1st CITY SUBMITTAL	TGD
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			
21			
22			
23			
24			
25			
26			
27			
28			
29			
30			
31			
32			
33			
34			
35			
36			
37			
38			
39			
40			
41			
42			
43			
44			
45			
46			
47			
48			
49			
50			
51			
52			
53			
54			
55			
56			
57			
58			
59			
60			
61			
62			
63			
64			
65			
66			
67			
68			
69			
70			
71			
72			
73			
74			
75			
76			
77			
78			
79			
80			
81			
82			
83			
84			
85			
86			
87			
88			
89			
90			
91			
92			
93			
94			
95			
96			
97			
98			
99			
100			



THE DIMENSION GROUP

ARCHITECTURE • CIVIL ENGINEERING • MEP ENGINEERING • PLANNING

10755 Sandhill Road, Dallas, Texas 75238
TEL: 214-343-9400 FAX: 214-341-9060 www.DimensionGrp.com

IRRIGATION SPECIFICATIONS AND DETAILS

DENNY'S
FM 544 NEAR BRAND ROAD
MURPHY, TEXAS

SHEET **L2.02**

Issue

Consider and/or act on the application of Murphy Four Venture, LP requesting approval of a site plan, landscape plan, building elevations and preliminary plat for a proposed retail space located in the northeast corner of FM 544 and Maxwell Creek Road.

Summary

The applicant submitted a site plan, building elevation plans, landscape plans and preliminary plat for approval that would allow for a proposed retail space. This will be located to the east of RaceTrac on Maxwell Creek Road.

Total square footage of the proposed building is approximately 10,784 square feet for retail space.

Considerations

The property is zoned PD (Planned Development) District No. 12-10-923 and part of the Murphy Marketplace tract.

Site Plan

The proposed site plan has been reviewed by staff and meets the requirements as set forth by the Planned Development District and the Code of Ordinances.

Building Elevations

The proposed building elevation and materials meet requirements as set forth by the Planned Development District and is in design with the remainder of Murphy Marketplace.

Landscape Plan

The proposed landscape and materials used have met requirement standards including landscape setbacks as detailed within the Planned Development District.

Construction Plat

The construction plat meets requirements pending the completion of comments currently being addressed by the applicant specific to the engineering documents (see notation below).

Additional Considerations for Notation

Prior to any signage installation, the sign plans for the building and on the site will be submitted to Customer Service, go through standard staff review to ensure compliance with the Sign Ordinance and will be permitted separately after staff approved.

Engineering and Public Works comments are being addressed specific to the Engineering Plans for this development and will be completed prior to construction plans submittal. This is standard procedure as part of the development process.

Staff Recommendation

Staff recommends approval of the site plan, landscape plan, building elevations, and construction plat as submitted with the considerations as noted in this agenda item.

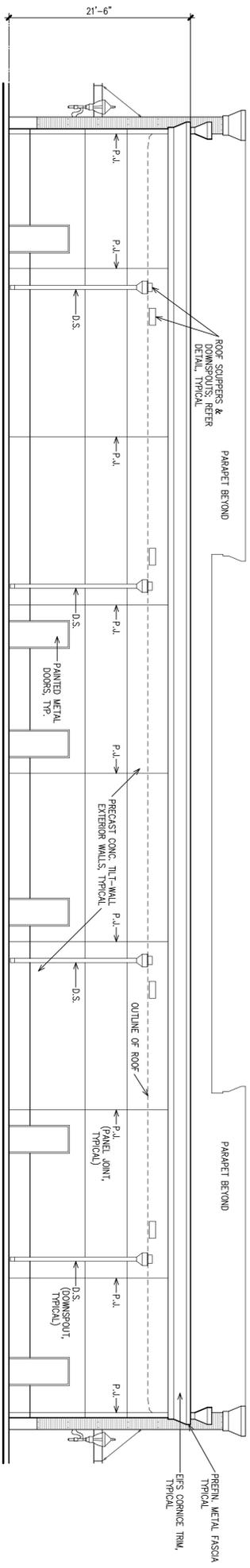
Attachments

Site Plan

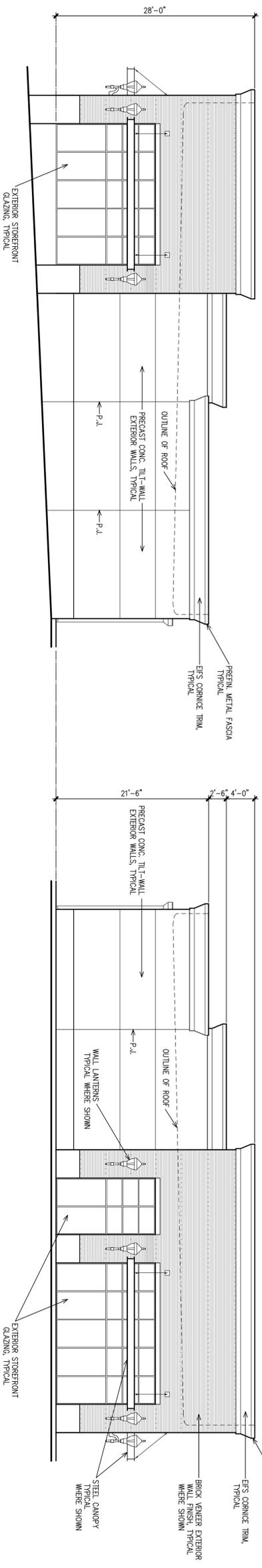
Building Elevations

Landscape Plan

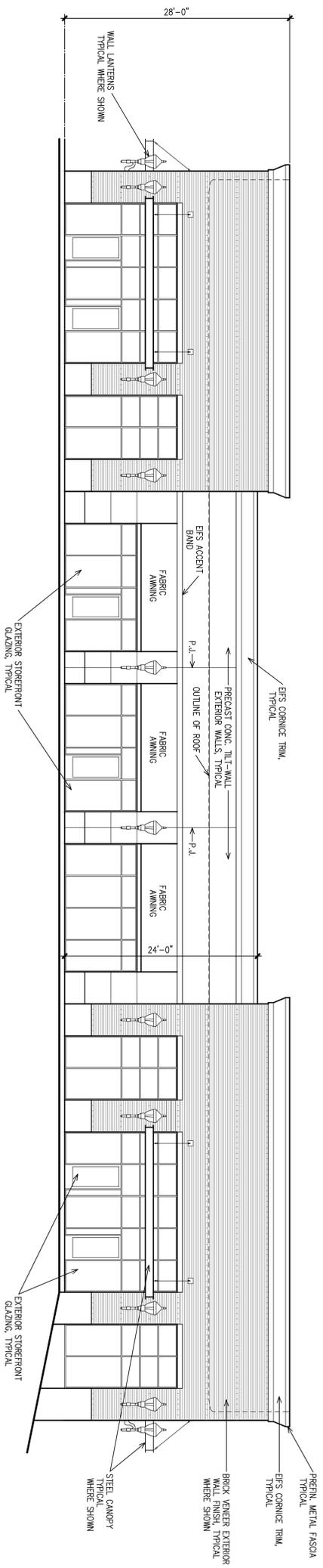
Construction Plat



North Exterior Elevation
SCALE: 1/8" = 1'-0"



West Exterior Elevation
SCALE: 1/8" = 1'-0"



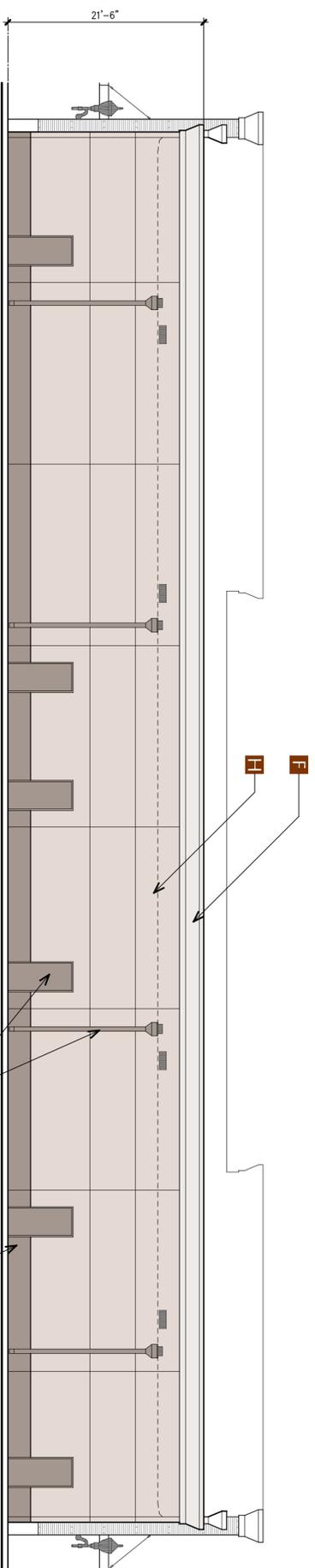
South Exterior Elevation
SCALE: 1/8" = 1'-0"

Maxwell Creek Center
Murphy, Texas
Langford Property Company

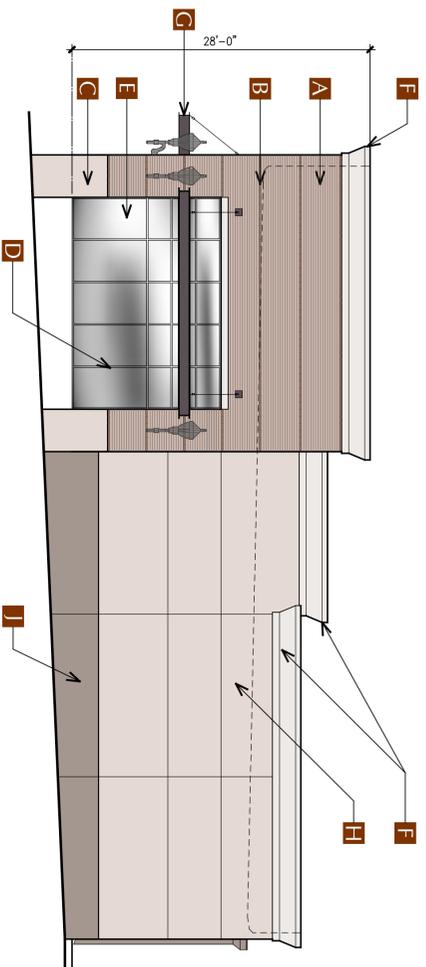


BATTEN ARCHITECTS
WML, TEXAS
214-474-1812

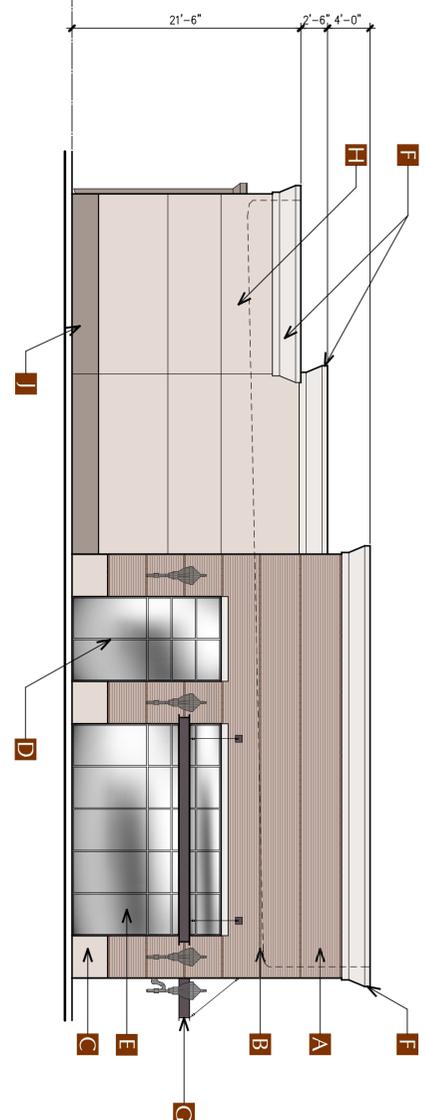
DATE 19 FEBRUARY 2015
SHEET OF 6A
A5
PROJECT # 2015-01



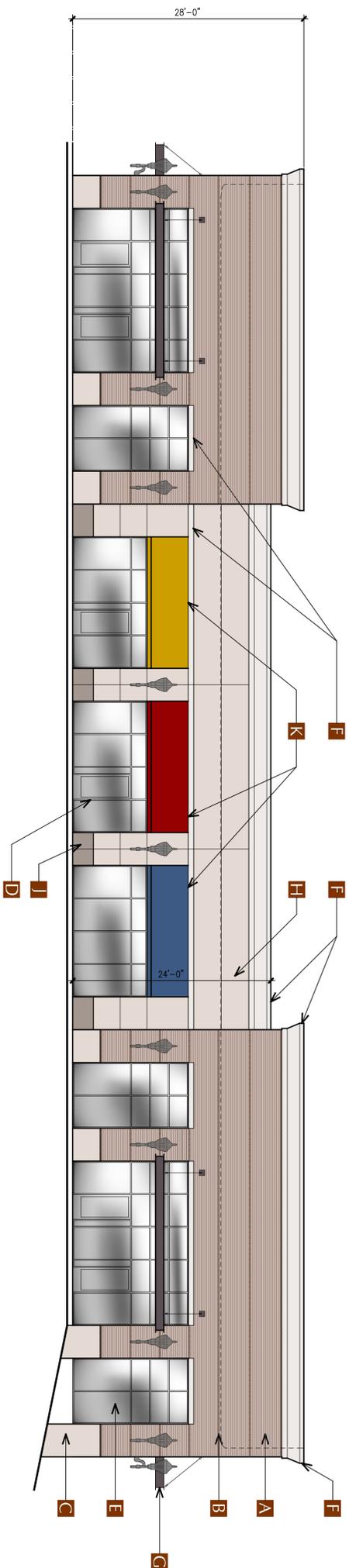
North Exterior Elevation
SCALE: 1/8" = 1'-0"



East Exterior Elevation
SCALE: 1/8" = 1'-0"



West Exterior Elevation
SCALE: 1/8" = 1'-0"



South Exterior Elevation
SCALE: 1/8" = 1'-0"

- Finish / Color Key**
- A Field Brick - Lighter Warmtone
 - B Accent Brick - Darker Brownstone
 - C Painted Concrete - Light Buff Color
 - D Dark Bronze Storefront
 - E Solar Tinted Dark Glass
 - F EIFS Cornice/Accents - Light Color
 - G Steel Canopies Painted Dark Bronze
 - H Painted Tilt-Wall - Light Buff Color
 - J Painted Tilt-Wall - Dark Mushroom Color
 - K Fabric Awnings - Various Colors
 - L Painted Metals - Dark Mushroom Color

Maxwell Creek Center

Murphy, Texas

Langford Property Company

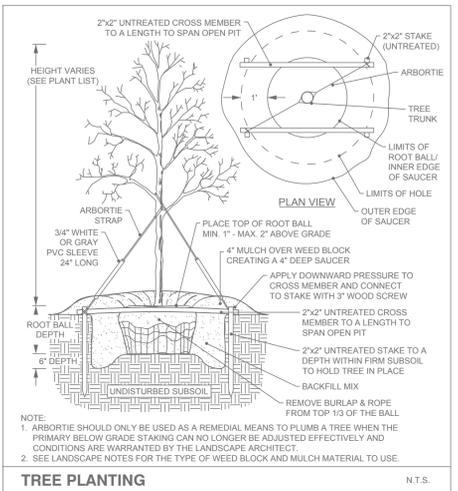


BATTEN ARCHITECTS

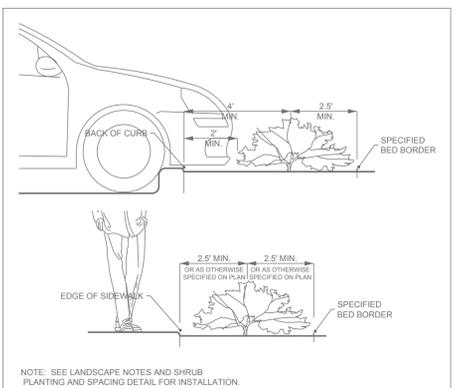
WMLF, TEXAS
214-474-1812

DATE 19 FEBRUARY 2015

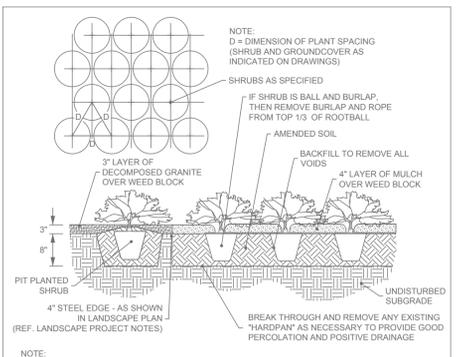
SHEET OF 10
Colors
PROJECT # 2015-01



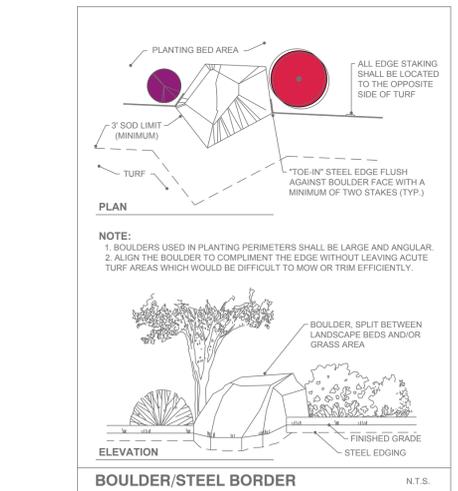
TREE PLANTING N.T.S.



SHRUB DISTANCE FROM EDGE OF BED N.T.S.



SHRUB PLANTING AND SPACING N.T.S.



BOULDER/STEEL BORDER N.T.S.

LANDSCAPE PROJECT NOTES

Refer to Stewwork Specifications for all information needed for landscape work.

Notify Landscape Architect or designated representative of any layout discrepancies or any condition which may prohibit the installation as shown.

Verify and locate all utilities and site lighting conduits before landscape construction begins. Protection of all utilities is the responsibility of the Contractor.

All landscape planting areas illustrated shall be graded smooth with three inches (3") of topsoil and three inches (3") of compost applied and consistently blended (tiled) to a depth of nine inches (9"). If adequate or sufficient topsoil is not available on site, the Contractor shall provide topsoil per the specifications and approved by the Owner.

To obtain final grade, excavation may be necessary to accept the required depth of topsoil/compost mix with surface dressing or mulch. All beds shall be crowned to anticipate settlement and ensure drainage without disrupting surrounding planned drainage paths. Any areas disturbed for any reason prior to final acceptance of the project shall be corrected by the Contractor at no additional expense to the Owner.

All landscaped areas will be irrigated with an underground automatic system.

Quantities shown on these plans are for reference only. Plant spacing is as indicated in the Plant Material List unless otherwise noted. The Contractor has full responsibility to provide coverage in all planting areas as specified.

All trees and shrubs shall be installed per planting details.

Trees shall be planted at least five feet (5') from any utility line or sidewalk, and to the outside of utility easements with a clear ten feet (10') around fire hydrants. Furthermore, planting within areas of turf shall give priority of location to irrigation. Trees, shall not be planted within five feet (5') of a spray head or ten feet (10') of a rotor. Remaining irrigation components shall respect the location of the illustrated landscape design. Shrubs, regardless of type, shall not be planted within thirty inches (30") of bed perimeters.

All plant material shall be maintained in a healthy and growing condition, and must be replaced with similar variety and size if damaged or removed. Container grown plant material is preferred, however ball and burlap material may be substituted as indicated in the plant material list.

All planting beds as designated shall be bordered by Owner approved four inch (4") steel edging w/ 3/8" min. thickness unless bed is bordered by concrete. Steel edging adjacent to decomposed granite beds shall have a 1/2" min. thickness. Terminate edging flush with paved surface with no sharp corners exposed.

A four inch (4") dressing of Shredded hardwood mulch over a 4.1 oz. woven polypropylene, needle-punched fabric or equal weed barrier shall be used in all plant beds and around all trees. Single trees or shrubs shall be mulched to the outside edge of the saucer or landscape island (See planting details).

Fertilize all plants at the time of planting with 10-10-10 time release fertilizer.

All areas of decomposed granite shall be over a 4.1 oz. woven polypropylene, needle-punched fabric or equal weed barrier of locally available material, installed to a compacted depth of three inches (3") to be flush with the top of curb, paved surface, and/or the top of steel edge.

Boulders labeled on plan shall vary in size according to symbol size. Smaller boulders shall have a minimum exposed height of eighteen inches (18"), minimum width of thirty-six inches (36") and a minimum depth of twenty-four inches (24"). Larger boulders shall have a minimum exposed height of twenty-four inches (24"), minimum width of forty-eight (48") and a minimum depth of thirty-six (36"). Boulders shall be recessed into the grade and shall be oriented so that its longest side is parallel to the ground plane to achieve a natural look.

SOD PROJECT NOTES

EROSION CONTROL:
Throughout the project and the maintenance period for turfgrass, it is the Contractor's responsibility to maintain the topsoil in place at specified grades. Topsoil and turfgrass losses due to erosion will be replaced by the Contractor until ESTABLISHMENT and ACCEPTANCE is achieved.

SOIL PREPARATION:
All slopes and areas disturbed by construction, except those occupied by buildings, structures, or paving shall be graded smooth and four (4") inches of topsoil applied. If adequate topsoil is not available onsite, the Contractor shall provide topsoil as approved by the Owner. The area shall be dressed to typical sections and plowed to a depth of five (5") inches. Soil shall be further prepared by the removal of debris, weeds and stones larger than 3/4 inch in diameter. After tilage and cleaning, all areas to receive turf shall be leveled, fine graded, and drag with a weighted spike harrow or float drag.

GRASS SOD:
Turfgrass sod shall be 100% "Cynodon dactylon" (Common Bermuda grass). Sod shall consist of stolons, leaf blades, rhizomes and roots with a healthy, viable system of dense, thickly matted roots throughout the soil of the sod for a thickness not less than three-quarters (3/4") inch. Sod shall be alive, healthy, vigorous, free of insects, disease, stones, and undesirable foreign materials and grasses. The grass shall have been moved prior to sod cutting so that the height of grass shall not exceed two (2") inches. Sod shall have been produced on growing beds of clay-loam topsoil. Sod shall not be harvested or planted when its moisture condition is so excessively wet or dry that its survival will be affected. All sod is to be harvested, delivered, and planted within a thirty-six (36) hour period of time. Sod shall be protected from exposure to wind, sun, and freezing. Should installation occur between November and March, sod shall include an over-seed of Annual Rye for a grown-in appearance.

IRRIGATION:
In the absence of an irrigation system or areas beyond the coverage limits of a permanent irrigation system, Contractor shall water sod temporarily to develop adequate growth and establishment before regular maintenance begins. Turf shall be watered until firmly established.

Water shall be furnished by the Contractor with means and methods available to achieve acceptable turf. The water source shall be clean and free of industrial wastes or other substances harmful to the growth of the turf.

MAINTENANCE REQUIREMENTS:
Vegetation should be inspected regularly to ensure that plant material is established properly and remains healthy. Mowing, trimming and supervision of water applications shall be the responsibility of the Contractor until the Owner or Owner's Representative accepts and assumes regular maintenance.

LANDSCAPE CALCULATIONS for the City of Murphy, TX

	Required	Provided
LANDSCAPE AREA		
20% of Lot to be Landscaped	20% x 60,851sf = 12,170.2 sf	28.2% (17,160sf)
STREET BUFFER FRONTAGE		
2 Large Canopy & 4 Small Ornamental per 50 lf	186 lf / 50 lf = 8 Large Canopy Trees 15 Ornamental Trees	8 Large Canopy Trees 15 Ornamental Trees
PARKING LOT LANDSCAPE AREA		
5% of Parking Lot to be Landscaped	5% x 25,456sf = 1,272sf	7.9% (2,011sf)
1 Canopy or 3 Ornamental Trees per 12 Parking Spaces	56 Spaces / 12 Spaces = 5 Canopy Trees or 14 Orn. Trees	5 Canopy Trees

LANDSCAPE REQUIREMENTS for the City of Murphy, TX

Code of Ordinances - Part II - Chapter 28 - Article VI - Sec. 28-155 - General standards.
The following criteria and standards shall apply to landscape materials and installation:
(c) Trees shall have an average crown spread of greater than 15 feet at maturity. Trees having a lesser average mature crown of 15 feet may be substituted by grouping the same so as to create the equivalent of 15 feet of crown spread. Large trees shall be a minimum of three inches in caliper (measured four feet above the ground) and seven feet in height at time of planting. Small ornamental trees shall be a minimum of one and one-half inches in caliper and five feet in height at time of planting. All new trees shall be provided with a permeable surface under the dripline a minimum of five feet by five feet diameter.
(d) Shrubs not of a dwarf variety shall be a minimum of two feet in height when measured immediately after planting. Hedges, where installed for screening purposes, shall be planted and maintained so as to form a continuous 75 percent visual screen which will be at least six feet high within three years after planting, except for parking lot/racetrack/headlight screens, which shall form a continuous, solid visual screen three feet high within two years after planting.

Sec. 28-156 - Minimum landscaping requirements for nonresidential and multifamily developments.
(a) At least 20 percent of the tract area shall be pervious, permanently landscaped area.
(b) A minimum 25-foot landscaped street buffer adjacent to the right-of-way of any arterial ("Type B" or larger) is required for the first 250 feet from the beginning (i.e., tangent) point of the street corner radius. Beyond the first 250 feet, the landscaped street buffer may either continue at the 25-foot width (developer's option), or it shall transition down to a required width of 15 feet along the remainder of the arterial frontage (minimum length of transition shall be 100 feet). A minimum 15-foot landscaped street buffer shall be required along any street frontage for any other nonresidential or multifamily development (including schools, churches, day care facilities, and other similar uses in a residential district). Two large shade tree and four small ornamental trees shall be required per 50 linear feet (or portion thereof) of street buffer frontage. Trees should be grouped or clustered to facilitate site design and to provide an aesthetically pleasing, natural looking planting arrangement. The landscaped street buffer area may be included in the required landscape area percentage.
(c) Only shrubs, ground covers and small ornamental trees shall be used under existing or proposed overhead utility lines.
(d) Vehicular driveways from the public right-of-way and sidewalks, in accordance with city regulations, shall be permitted through all required landscaping.

Sec. 78-106 - Screening areas of certain parked vehicles or equipment.
It shall be unlawful in all residential districts for the owner, occupant or person in charge of property or the owner or driver of a motor vehicle to leave a heavy load vehicle, truck, travel trailer, motor vehicle, motor home, camper, trailer, boat, farm equipment or machinery or any other similar equipment or machinery in the back yard within ten feet of the adjacent property line unless said motor vehicle or equipment is screened by natural objects, plants, fences or other appropriate means so that it is not visible from ordinary view of the adjacent property, street or public right-of-way or on a prepared driveway or parking lot. Between the side building line and the side property line on the side of the lot abutting a street or public right-of-way said motor vehicle or equipment shall be screened as above or on a prepared driveway or parking lot as defined in section 78-105.

Ordinance No. 12-10-923 - Planned Development District Conditions
F. Landscape Standards.
2. A landscape buffer shall be provided fifteen (15) feet in depth adjacent to the right of way of FM 544, fifteen (15) feet in depth adjacent to North Maxwell Creek Road and ten (10) feet in depth adjacent to all other roads (includes public streets and private access drives) as measured from the back of curb of the public or private street to the back of curb of any site paving. No parking may be placed within any landscape buffer. Pedestrian easements may be located within a landscape buffer. The width of the sidewalk may be included in the calculation of the buffer depth for (15) foot buffers, but may not be included in the calculation of the buffer depth for ten (10) foot buffers.
4. a. 1. A total of five (5) percent of interior of the entire parking lot regardless of location, shall be landscaped. One large tree or three (3) ornamental trees from the Plant List, shall be provided for each twelve (12) parking spaces, and planted within the five (5) percent area. Trees shall be distributed so that bays of parking spaces shall not exceed eighteen (18) spaces in length.
G. Screening. Screening shall comply with the standards set forth in Article VII, Division 5 of the Code of Ordinances, except as provided below.
1. All screening at the rear of the property will be a live screen where required. Plant materials shall conform to the standards of the approved plant list in Section 5 and the current edition of the "American Standard for Nursery Stock" (as amended), published by the American Association of Nurserymen. Bald Cypress trees are excluded from the approved list. The existing railroad berm will also serve as a natural screen between the nonresidential and residential districts.



Plant Material List

SYM.	KEY	QTY.	COMMON NAME SCIENTIFIC NAME	O.C.	ROOT	SIZE	HEIGHT	SPREAD	COMMENT
SO	5	Shumard Oak	Quercus shumardii	N/A	Cont.	3" cal.	12' min.	5' min.	Full Canopy, Healthy, Good Form Strong Central Leader
LO	8	Escarpment Live Oak	Quercus fusiformis	N/A	Cont.	3" cal.	12' min.	5' min.	Full Canopy, Healthy, Good Form Strong Central Leader
YH	5	Yaupon Holly	Ilex vomitoria	N/A	Cont.	30 gal.	8' min.	4' min.	Full Canopy, Healthy, Good Form Multi-trunk, 3 cane minimum
CM	10	Crape Myrtle 'Tuscarora'	Lagerstroemia indica 'Tuscarora'	N/A	Cont.	30 gal.	8' min.	4' min.	Full Canopy, Healthy, Good Form Multi-trunk, 3 cane minimum
BP	5	Blue Point Juniper	Juniperus chinensis 'Blue Point'	72"	Cont.	30 gal.	6' min.	3' min.	Full, Healthy, Even Growth.
TS	6	Texas Sage	Leucophyllum frutescens	60"	Cont.	7 gal.	36" min.	24" min.	Full, Healthy, Even Growth
DC	8	Dwarf Crape Myrtle	Lagerstroemia indica dwarf 'Acoma'	48"	Cont.	5 gal.	24" min.	24" min.	Full, Healthy, Even Growth, White Bloom
PB	56	Cynsom Pigmy Barbary	Berberis thunbergii	24"	Cont.	5 gal.	20" min.	18" min.	Full, Healthy, Even Growth
DB	38	Dwarf Burford Holly	Ilex cornuta 'Burfordii'	36"	Cont.	3 gal.	24" min.	24" min.	Full, Healthy, Even Growth
LM	27	Lindheimer Muhly	Muhlenbergia lindheimeri	36"	Cont.	5 gal.	30" min.	24" min.	Full, Healthy
GM	62	Gulf Muhly Grass	Muhlenbergia capillaris	24"	Cont.	3 gal.	18" min.	18" min.	Full, Healthy
DR	21	Red Drift Rose	Rosa 'Meigalpio'	24"	Cont.	3 gal.	20" min.	18" min.	Full, Healthy, Red Bloom
TL	400 sf	Trailing Lantana	Lantana montevidensis	12"	Cont.	1 gal.	9" min.	6" min.	Full, Healthy
LR	510 sf	Liriope	Liriope muscari	12"	Cont.	1 gal.	12" min.	8" min.	Full, Healthy, Even Growth.
PE	1,470 sf	Purpleleaf Euonymus	Euonymus fortunei 'Colorata'	18"	Cont.	1 gal.	6" min.	10" min.	Full, Healthy
DG	1,960 sf	Decomposed Granite		-	-	-	-	-	Locally Available

In Accordance to the Current Edition of The American Standard for Nursery Stock

BY: _____ DATE: _____

REVISIONS

NO.	DATE	DESCRIPTION

Adams
910 S. Kimball Avenue ■ Southlake, Texas 76095 ■ (817) 328-3200

**MAXWELL CREEK CENTER
MURPHY, TEXAS**

LANDSCAPE PLAN



06/18/15

PROJECT MGR.
TAM

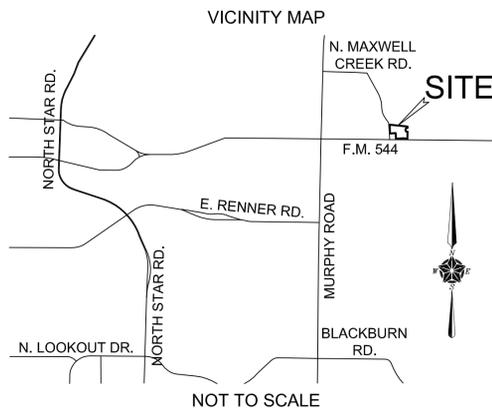
PROJECT TECH.
CW

CHECKED BY

JOB NO.
2006.058

SHEET NO.
L1.0

FILE NAME: L1.0 LANDSCAPE PLAN.dwg PLOTTED BY: JH.Bukey PLOT DATE: Wednesday, February 18, 2015 PLOT TIME: 3:02:02 PM PLOTTER: None



LINE #	LENGTH	DIRECTION
L1	31.54'	S86°00'57"E
L2	31.05'	S86°00'57"E
L3	52.65'	S0°00'00"E
L4	52.65'	N0°00'00"E
L5	2.50'	N90°00'00"W
L6	2.50'	N90°00'00"W
L7	118.14'	S89°59'51"E
L8	2.50'	N86°58'35"E
L9	84.69'	S3°01'25"E
L10	2.51'	N89°43'10"W
L11	122.60'	N90°00'00"W
L12	84.41'	N0°00'05"E
L13	114.34'	N89°59'51"W
L14	2.34'	S86°50'04"W
L15	60.05'	N3°09'40"W
L16	112.32'	N3°00'46"W
L17	131.72'	N90°00'00"E
L18	84.42'	S0°00'05"W

CURVE #	LENGTH	RADIUS	CHORD
C1	36.83'	24.01'	N47°02'19"W 33.33'
C2	39.39'	24.01'	S43°59'18"W 35.12'
C3	37.70'	24.00'	N44°59'57"W 33.94'
C4	39.41'	24.01'	S43°57'47"W 35.13'
C5	33.55'	45.11'	N24°28'06"W 32.78'
C6	13.77'	24.00'	N73°33'28"E 13.59'
C7	75.40'	48.00'	S44°59'57"E 67.88'
C8	75.38'	48.00'	S45°00'54"W 67.87'
C9	37.69'	24.00'	S45°00'54"W 33.93'

LEGEND:

- ESMT. D.R.C.C.T. P.R.C.C.T. IRF
- "X" FND. VOL., PG. CAB., PG. INST. NO. R.O.W.
- EASEMENT DEED RECORDS, COLLIN COUNTY, TEXAS
- PLAT RECORDS, COLLIN COUNTY, TEXAS
- IRON ROD FOUND
- "X" FOUND IN CONCRETE
- VOLUME, PAGE
- CABINET, PAGE
- INSTRUMENT NUMBER
- RIGHT-OF-WAY



OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF COLLIN

WHEREAS, Murphy Four Venture, LP is the owner of a tract of land situated in the James W. Maxwell Survey, Abstract No. 582, in the City of Murphy, Collin County, Texas, being that same tract of land conveyed to Murphy Four Venture, LP by General Warranty Deed recorded in Instrument No. 20080815000996690, Official Public Records, Collin County, Texas, and being more particularly described by metes and bounds as follows:

Beginning at a 1/2 inch iron rod found for corner with a yellow cap stamped "TXHS" in the North line of F.M. 544 (variable width public right-of-way), said point being the Southwest corner of a tract of land conveyed to Murphy Creek Investments, LLC by Deed recorded in Instrument No. 20140407000331290, Official Public Records, Collin County, Texas;

Thence North 80 Degrees 54 Minutes 29 Seconds West, along the North line of said F.M. 544, a distance of 141.47 feet to a 1/2 inch iron rod found for corner with a yellow cap stamped "TXHS";

Thence North 89 Degrees 59 Minutes 54 Seconds West, continuing along the North line of said F.M. 544, a distance of 147.25 feet to a 1/2 inch iron rod found for corner with a yellow cap stamped "TXHS";

Thence South 86 Degrees 11 Minutes 15 Seconds West, continuing along the North line of said F.M. 544, a distance of 301.87 feet to an "X" found in concrete for corner, said point being the Southeast corner of Lot 1, Block A of the Racetrac Addition, an Addition to the City of Murphy, Collin County, Texas, according to the plat thereof recorded in Cabinet 2009, Page 324, Plat Records, Collin County, Texas;

Thence North 03 Degrees 00 Minutes 46 Seconds West, along the East line of said Lot 1, Block A, a distance of 287.08 feet to an "X" found for corner, said point being the Northeast corner of said Lot 1;

Thence South 86 Degrees 11 Minutes 57 Seconds West, along the North line of said Lot 1, Block A, a distance of 286.97 feet to a 5/8 inch iron rod found for corner in the East line of N. Maxwell Creek Road (variable width public right-of-way);

Thence North 01 Degree 40 Minutes 21 Seconds West, along the East line of said W. Maxwell Creek Road, a distance of 447.22 feet to a 5/8 inch iron rod found for corner in the South line of a tract of land conveyed to the Dallas Area Rapid Transit (DART) (variable width railroad right-of-way) by Deed recorded in Volume 3424, Page 126 of the Deed Records of Collin County, Texas;

Thence South 83 Degrees 58 Minutes 57 Seconds East, along the South line of said DART tract, a distance of 908.84 feet to a 1/2 inch iron rod found for corner, said point being the Northwest corner of a tract of land conveyed to Murphy Equity Management by Deed recorded in Instrument No. 20080826001032940, Official Public Records, Collin County, Texas;

Thence South 00 Degrees 06 Minutes 16 Seconds West, along the West line of said Murphy Equity Management, a distance of 67.04 feet to a 1/2 inch iron rod found for corner with a yellow cap stamped "TXHS", said point being the North corner of a remainder of the tract of land conveyed to Sang Duk Park by Deed recorded in Volume 4198, Page 3430, Official Public Records, Collin County, Texas, same being the beginning of a non-tangent curve to the left;

Thence, in a southerly direction, along the West line of said Park tract, and along said curve to the left, through a central angle of 183°01'44", a radius of 100.00 feet, a chord bearing and distance of South 00°06'11" West, 199.93 feet and an arc length of 319.45 feet to a 1/2 inch iron rod found for corner with a yellow cap stamped "TXHS" in the West line of said Murphy Equity Management tract, said point being the South corner of said Park remainder tract;

Thence South 00 Degrees 06 Minutes 16 Seconds West, along the West line of said Murphy Equity Management tract, a distance of 354.67 feet to the Point of Beginning and containing 492,104 square feet or 11.2972 acres.

CITY APPROVAL OF FINAL PLAT

Approved by the City of Murphy for filing at the office of the County Clerk of Collin County, Texas.

RECOMMENDED BY: Planning and Zoning Commission
City of Murphy, Texas

Signature of Chairperson _____ Date of Recommendation _____

APPROVED BY: City Council
City of Murphy, Texas

Signature of Mayor _____ Date of Approval _____

ATTEST:

City Secretary _____ Date _____

PROPERTY LOCATION STATEMENT

This property is located in the corporate limits of the City of Murphy, Collin County, Texas.

Mayor, City of Murphy _____ Date _____

ATTEST:

City Secretary, City of Murphy _____ Date _____

OWNER'S DEDICATION

STATE OF TEXAS
COUNTY OF COLLIN

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That, Murphy Four Venture, LP, a Texas limited liability company, acting herein by and through its duly authorized officer, does hereby adopt this plat designating the herein above described property as **MURPHY FOUR ADDITION**, an addition to the City of Murphy, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, rights-of-way, and other public improvements shown thereon. The streets and alleys, if any, are dedicated for street purposes. The easements and public areas, as shown, are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements and growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City Council of the City of Murphy. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Murphy's use thereof. The City of Murphy and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other removed improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Murphy and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Murphy, Texas.

WITNESS, my hand, this ___ day of _____, 2015.

By: Murphy Four Venture, LP.

_____, (title)
STATE OF TEXAS
COUNTY OF COLLIN

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this ___ day of _____, 2015.

Notary Public in and for the State of Texas

My Commission Expires On: _____

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, Gary E. Johnson, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as "set" were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Murphy.

PRELIMINARY THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSES AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT. 02/18/15

Gary E. Johnson
Texas Registered Professional Land Surveyor No. 5299

STATE OF TEXAS
COUNTY OF COLLIN

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Gary E. Johnson, Registered Public Land Surveyor, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this ___ day of _____, 2015.

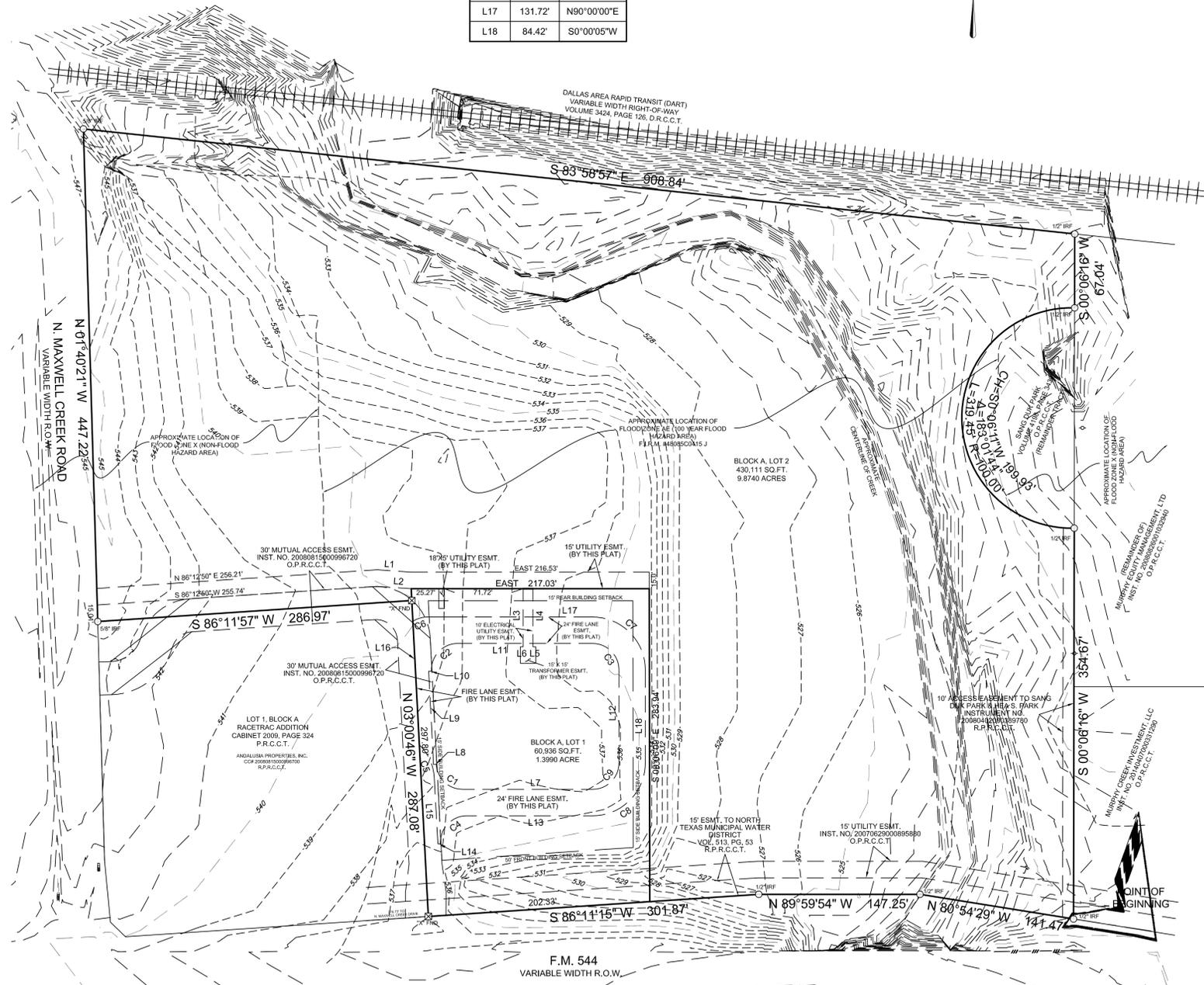
Notary Public in and for the State of Texas

My Commission Expires On: _____

GENERAL NOTES:

- BEARINGS ARE BASED ON DEED RECORDED IN INSTRUMENT NO. 20080815000996690, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS.
- THE REASON FOR THIS PLAT IS TO CREATE 2 LOTS.
- SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW, AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
- ACCORDING TO THE FLOOD INSURANCE RATE MAP (FIRM) NO. 448085C0415J, WITH AN EFFECTIVE DATE OF JUNE 2, 2009, THE SUBJECT PROPERTY DOES LIE WITHIN A FLOOD HAZARD AREA.
- EXISTING TOPOGRAPHICAL INFORMATION PROVIDED BY ADAMS ENGINEERING

FIRE LANES
THAT THE UNDERSIGNED DOES HEREBY COVENANT AND AGREE THAT HE (THEY) SHALL CONSTRUCT UPON THE FIRE LANE EASEMENTS, AS DEDICATED AND SHOWN HEREON, A HARD SURFACE IN ACCORDANCE WITH THE CITY OF MURPHY'S PAVING STANDARDS FOR FIRE LANES, AND THAT HE (THEY) SHALL MAINTAIN THE SAME IN A STATE OF GOOD REPAIR AT ALL TIMES AND KEEP THE SAME FREE AND CLEAR OF ANY STRUCTURES, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR OBSTRUCTION, INCLUDING BUT NOT LIMITED TO THE PARKING OF MOTOR VEHICLES, TRAILERS, BOATS OR OTHER IMPEDIMENTS TO THE ACCESSIBILITY OF FIRE APPARATUS. THE MAINTENANCE OF PAVING ON THE FIRE LANE EASEMENTS IS THE RESPONSIBILITY OF THE OWNER, AND THE OWNER SHALL POST AND MAINTAIN APPROPRIATE SIGNS IN CONSPICUOUS PLACES ALONG SUCH FIRE LANES, STATING "FIRE LANE, NO PARKING OR STANDING." THE LOCAL LAW ENFORCEMENT AGENCY(S) IS HEREBY AUTHORIZED TO ENFORCE PARKING REGULATIONS WITHIN THE FIRE LANES, AND TO CAUSE SUCH FIRE LANES AND UTILITY EASEMENTS TO BE MAINTAINED FREE AND UNOBSTRUCTED AT ALL TIMES FOR FIRE DEPARTMENTS AND EMERGENCY USE.



OWNER
MURPHY FOUR VENTURE, LP
5924 TWIN COVES
DALLAS, TEXAS 75248
ENGINEER
ADAMS ENGINEERING
910 S. KIMBALL AVENUE
SOUTHLAKE, TEXAS 76092

SURVEYOR
TEXAS HERITAGE
SURVEYING, LLC
10610 Metric Drive, Suite 124, Dallas, TX 75243
Office 214-340-9700 Fax 214-340-9710
txheritage.com
Firm #10169300



CONSTRUCTION PLAT
MURPHY FOUR ADDITION
BLOCK A, LOTS 1 & 2
492,104 SQ.FT. / 11.2972 ACRES

JAMES W. MAXWELL SURVEY, ABSTRACT NO. 582
CITY OF MURPHY, COLLIN COUNTY, TEXAS

Issue

Discuss update on southeast sector study.

Summary

The City is in the process of revising the Comprehensive Plan and studying the land uses, public facilities, flooding, connectivity, and development of the area near south Maxwell Creek, the southeast sector study and plan.

The project includes studying existing and future development conditions and land uses in and near the south Maxwell Creek area. Significant development in and around south Maxwell Creek requires the City to determine the best method to protect the area and strengthen the connection between the City's ordinances and the goals and needs of the citizens. The existing regulations are inadequate to prevent new development from being detrimental to the health, safety, and welfare of the City's residents.

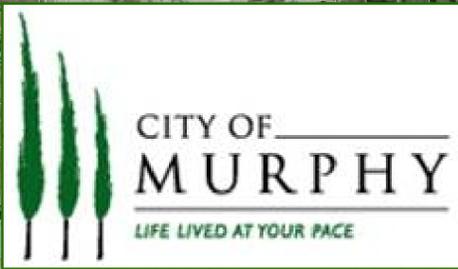
The temporary moratorium in place until October 4, 2015 allows the City to address compelling land use and environmental compatibility concerns associated with development activities occurring in and around the south Maxwell Creek area, while reviewing and adopting ordinances to provide for compatible development in order to protect the character of existing residential property while providing for potential development of property along FM 544 and McCreary Road.

Considerations

Staff is working with Freese & Nichols on the southeast sector study project and plan. The project process is currently being scoped and finalized however; the expectation is to ensure the involvement of all the property owners in this area as well as the neighbors and property owners surrounding the defined sector. Additionally, involvement of the Planning & Zoning Commission and City Council in this process is required and staff will have a more detailed update in the coming weeks.

Attachments

Map of defined geographic boundaries of South Maxwell Creek Corridor (southeast sector)



KCS RR

FM 544

Murphy Rd

McCreary Rd

S Maxwell Creek Rd

Kinney Dr

Hawthorne

Ridgeview Dr

Skyline Dr

