



MURPHY PLANNING AND ZONING COMMISSION AGENDA
REGULAR PLANNING AND ZONING COMMISSION MEETING
DECEMBER 29, 2014 AT 6:00 PM, CITY HALL
206 NORTH MURPHY ROAD
MURPHY, TEXAS 75094

NOTICE is hereby given of a meeting of the Planning and Zoning Commission of the City of Murphy, Collin County, State of Texas, to be held on December 29, 2014 at Murphy Council Hall for the purpose of considering the following items. The Planning and Zoning Commission of the City of Murphy, Texas, reserves the right to meet in closed session on any of the items listed below should the need arise and if applicable pursuant to authorization by Title 5, Chapter 551, of the Texas Government Code.

CALL TO ORDER

Steve Levy
Chair

ROLL CALL & CERTIFICATION OF A QUORUM

Jon King
Vice Chair

SEAT ALTERNATES AS NEEDED AND INTRODUCTION OF NEW MEMBERS

PUBLIC COMMENTS

Camille Hooper
Commissioner

INDIVIDUAL CONSIDERATION

John Johnson
Commissioner

Lloyd Jones
Commissioner

Greg Mersch
Commissioner

Gary Maxon
Alternate

Mahendra Parikh
Alternate

1. Approval of the Minutes from the November 24, 2014 regular meeting.
2. Consider and/or act on the application of Eric Langford, on behalf of the property owner, Champion Langford Partners, for approval of a site plan, building elevations, landscape plan and construction plat, on Lot 3 - Block C – Murphy Marketplace East Addition on property zoned PD (Planned Development) District No. 12-10-923 Retail Uses for. This property is located at the 313 E FM 544.
3. Consider and/or act on the application of property owner David Howard requesting approval of a site plan, landscape plan, building elevations and construction plat for an Assured Self Storage at the southwest corner of Murphy Road and Betsy Lane.
4. Hold a public hearing and consider and/or act on the application of Saritha Yeddula, Charlotte Dye, Kelly Smith/Orange-Birmingham, LLC requesting to amend PD Ordinance No. 12-06-914 including a change in zoning of approximately 6.3 acres from SFR (Single Family Residential) to PD (Planned Development) District for Retail Uses and amending the Concept Plan, Landscape Plan and Planned Development Conditions. This property is located at SWC FM 544 and McCreary Road.

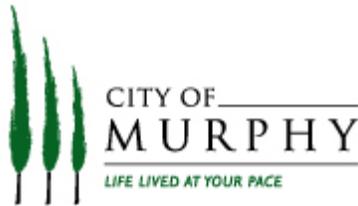
Kristen Roberts
Director of Community
Development

ADJOURNMENT

I certify that this is a true and correct copy of the Murphy Planning and Zoning Commission Meeting Agenda and that this notice was posted on the designated bulletin board at Murphy City Hall, 206 North Murphy Road, Murphy, Texas 75094; a place convenient and readily accessible to the public at all times, and said notice was posted December 24, 2014 by 5:00 p.m. and will remain posted continuously for 72 hours prior to the scheduled meeting pursuant to Chapter 551 of the Texas Government Code.

Kristen Roberts
Director of Community Development

In compliance with the American with Disabilities Act, the City of Murphy will provide for reasonable accommodations for persons attending public meetings at City Hall. Requests for accommodations or interpretive services must be received at least 48 hours prior to the meeting. Please contact the City Secretary at (972) 468-4011 or squinn@murphytx.org.



Murphy Planning and Zoning Commission Regular Meeting Minutes
206 North Murphy Road
Murphy, Texas 75094
November 24, 2014

CALL TO ORDER

Chairman Levy called the meeting to order at 6:00 p.m.

ROLL CALL & CERTIFICATION OF A QUORUM

Commissioners Present: Steve Levy, Jon King, Ty Holcomb, Camille Hooper, John Johnson and Matthew Thekkil

Commissioners Absent: Eric Hemphill

City Staff Present: Kristen Roberts, Director of Community and Economic Development
Lori C. Knight, Administrative Assistant

Lori C. Knight certified a quorum.

PUBLIC COMMENTS

INDIVIDUAL CONSIDERATION

1. Approval of the Minutes from the August 25 and October 27, 2014 regular meetings.

Commission Action

Commission Hooper made a motion to approve the regular minutes from August 25, 2014 and October 27, 2014. Vice Chair King seconded the motion. Motion passed.

2. Hold a public hearing on the request to amend the Concept Plan for approximately 6.43 acres of property zoned PD (Planned Development) District No. 09-02-785, as amended, located on FM 544 approximately 800' west of Heritage Parkway.

Staff Discussion

Kristen Roberts stated that the Planned Development (PD) District Ordinance No. 09-02-785 was approved for this property by City Council on February 16, 2009. Ms. Roberts stated that the PD was amended and the current Concept Plan for the property was approved in April 2014. No changes to the PD, including building setbacks or permitted uses, are being requested at this time. Ms. Roberts stated that the amended Concept Plan proposes to relocate the lot line between Lots 2 and 3 to make Lot 2 smaller. The building areas and associated parking areas are also being modified to accommodate the new proposed layout. Ms. Roberts stated that staff recommends approval of the request to amend the Concept Plan.

Steve Homeyer- Homeyer Engineering

Mr. Homeyer stated that the minor modification to the concept plan was being done because the client was looking to build a bigger building and that changed the layout slightly.

PUBLIC HEARING OPENED AT 6:08 P.M.

PUBLIC HEARING CLOSED AT 6:08 P.M.

Commission Action

Secretary Holcomb made a motion to approve the request to amend the Concept Plan as presented. Commissioner Thekkil seconded the motion. Motion passed 6-0.

3. Hold a public hearing to discuss the application of Tiger Food, Inc. requesting a variance specifically to exterior construction standards (Section 28-131) and consider and/or act on the application of Tiger Food, Inc. requesting approval of a site plan, landscape plan, building elevations and construction plat for a PDQ restaurant at 104 E. FM 544.

Staff Discussion

Kristen Roberts stated that the applicant submitted a site plan, building elevation plans, landscape plans, and construction plat for approval that would allow for the development of a PDQ restaurant with a drive-thru and patio at 104 E. FM 544. Ms. Roberts stated that the site is currently a Qwik Stop gas station with a convenience store and drive-thru. Ms. Roberts stated that a demolition of the existing gas station, convenience store and associated parking lot pavement including the removal of the existing underground tanks would occur with this redevelopment.

Ms. Roberts stated the proposed site plan had been reviewed by staff and met the city's requirements however the applicant is requesting a variance to the minimum thickness of stone veneer as required in Section 28-131. The stone that PDQ is proposing to install will be roughly 1" to 2" thick. Ms. Roberts stated that staff recommended approval of the plans as submitted with the variance considerations as noted.

Adam Smith, VP Development with Foremark

Adam Smith stated that they had started working closely with staff regarding the roof and the color and to figure out what would work best for Murphy. Mr. Smith stated their request for thickness and they would be using actual stone, just cut thinner than the code allowed.

Commissioner Thekkil asked what the time frame would be from demolishing the shell station to having the restaurant open would be. Mr. Smith stated once all demolition is complete including tank removal it would be 16-18 weeks construction.

PUBLIC HEARING OPENED AT 6:29 P.M.

PUBLIC HEARING CLOSED AT 6:29 P.M.

Vice Chair King stated that he felt that the Commission was approving a lot of variances in regards to building materials.

Commission Action

Secretary Holcomb made a motion to approve the variance *specifically to exterior construction standards* along with the site plan, landscape plan, building elevations and construction plat for a PDQ restaurant at 104 E. FM 544. Commissioner Hooper seconded the motion. Motion passed 5-1 with Vice Chair King opposing.

STAFF UPDATES

Next P&Z meeting will be held on December 29th in the Community Room located on the first floor at City Hall. The Council Chambers will be undergoing some repairs.

ADJOURNMENT

With no other business before the Commission, Chair Levy adjourned the meeting at 6:34 P.M.

APPROVED:

Ty Holcomb, Secretary

Attest:

Secretary

Issue

Consider and/or act on the application of Eric Langford, on behalf of the property owner, Champion Langford Partners, for approval of a site plan, building elevations, landscape plan and construction plat, on Lot 3 - Block C – Murphy Marketplace East Addition on property zoned PD (Planned Development) District No. 12-10-923 Retail Uses for. This property is located at the 313 E FM 544.

Summary

The applicant has submitted a site plan, building elevation plans and landscape plans for approval that would allow for development of a two tenant building on this site. Dunkin Donuts and Nothing Bundt Cake are the planned tenants.

On October 7, 2014, Council approved a SUP for a drive thru specifically for Dunkin Donuts on this site.

Considerations

1. After staff review and submittal revisions by the applicant, the proposed site plan has met required standards; including parking and a configuration and circulation pattern would allow a functional drive-thru window.
 - a. Written release from existing easement owners is being sought by the applicant and must be submitted to the City. No construction may take place without this release.
2. After staff review and submittal revisions by the applicant, the proposed landscape plan has met requirement standards.
 - a. Written release from existing easement owners is being sought by the applicant and must be submitted to the City. No landscaping may be installed without this release.
3. The proposed building elevation plans have been through a number of reviews.
 - a. Considering the Planned Development District exterior construction requirements, staff and the applicant worked towards an exterior construction that we feel compliments both the proposed site as well as provides a consistency with the overall development.
4. The construction plat meets requirements.

Staff Recommendation

Staff recommends approval of the proposed site plan, building elevations, landscape plans and construction plat.

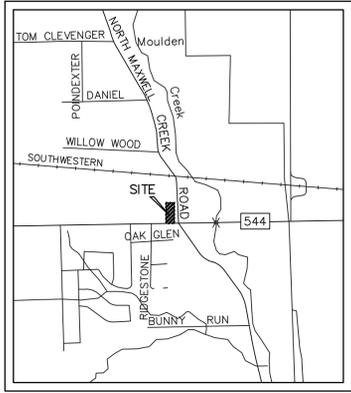
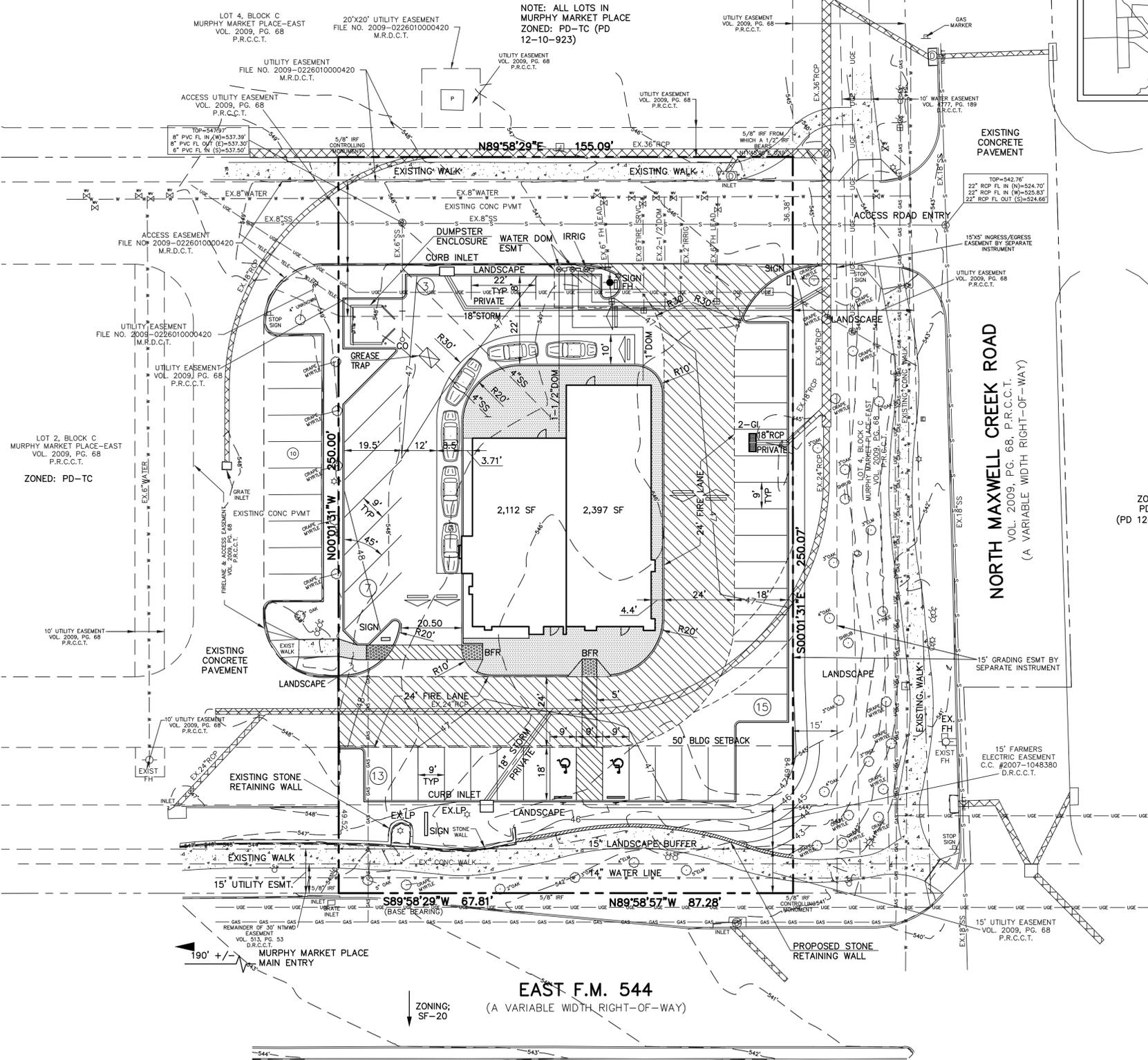
Attachments

Site Plan

Landscape Plan

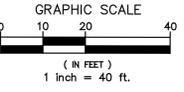
Building Elevation

Construction Plat



BENCHMARK NO. 1
 CITY OF PLANO GEODETIC CONTROL STATION S2, GPS POINT NO. 219, 4483, TEXAS NORTH CENTRAL ZONE (4202) STATE PLANE COORDINATE SYSTEM, A 3-1/4" DOMED ALUMINUM DISK STAMPED "CITY OF PLANO SURVEY MARKER, 1999 S2", ELEVATION NAVD 1988 529.52', LOCATED IN THE CENTERLINE MEDIAN ON THE BRIDGE ALONG 14TH STREET APPROX. 305' SOUTHWEST OF DUBLIN ROAD.

BENCHMARK NO. 2
 CITY OF PLANO GEODETIC CONTROL STATION 849, GPS POINT NO. 849, 4483, TEXAS NORTH CENTRAL ZONE (4202) STATE PLANE COORDINATE SYSTEM, A 3-1/4" DOMED ALUMINUM DISK STAMPED "CITY OF PLANO SURVEY MARKER, 849 2009 BY 68A1", ELEVATION NAVD 1988 543.66', LOCATED IN THE SOUTH DRIVEWAY OF THE "PECAN HOLLOW GOLF COURSE" MAINTENANCE BUILDING.



SITE SUMMARY TABLE LOT 1	
County	COLLIN
Project Name	LOT 3, BLOCK C, MURPHY MARKET PLACE, PH. 2
Zoning District	PD-TC (PD 12-10-923)
Proposed use	RESTAURANT/RETAIL
Site Area:	0.89 Acres 38,775 S.F.
Building Area	4,514 S.F. (TOTAL)
Building Height:	22'-0" - 1 STORY
Lot Coverage:	4,514/38,775 = 11.6%
Floor Area Ratio:	4,514/38,775 = 1:11.6
Parking Required:	RESTAURANT (2,112 SF)
	1 SPC/100 SF = 22
	RETAIL (2,397 SF)
	1 SPC/200 SF = 12
	TOTAL REQ = 34 SPACES
Parking Provided:	Regular = 36 SPACES
	Handicap = 2 SPACES
	Total = 38 SPACES
Landscape Buffer Area:	2,326 SF
Landscape Private Provided:	4,410 SF
Landscape Percentage:	22.5%
Parking Lot Area:	6,307 SF
Parking Lot Landscape Area Required (5%):	315 SF
Parking Lot Landscape Area Provided:	484 SF
Building Footprint Area:	4,486 SF
Total Pervious Area:	6,224 SF
Total Impervious Area:	32,551 SF

LEGEND		
EXISTING		PROPOSED
---	PROPERTY LINE	---
=====	PAVEMENT	=====
---	CONTOUR	---
-W EX.8" WATER W-	WATER	1" DOM
-8" WW EX.8" SS (S)	SEWER	6" SS
XXXXXX 21" RCP	STORM	----
—OHU—	ELECTRIC	----
	SIDEWALK	[Pattern]
	BFR	[Pattern]
	FIRE LANE	[Pattern]

VASQUEZ ENGINEERING L.L.C.
 1919 S. Shiloh Road
 Suite 440, LB 44
 Garland, Texas 75042
 Ph: 972-276-2948
 TX Registration # F-12266

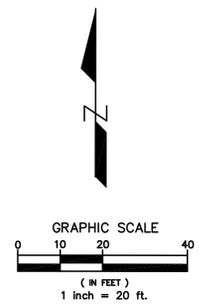
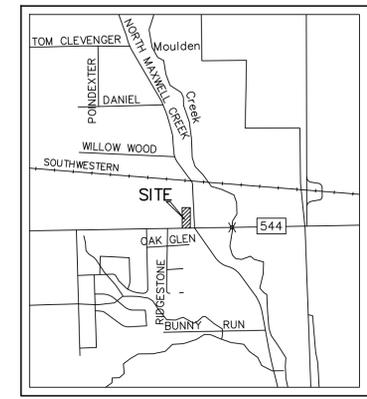
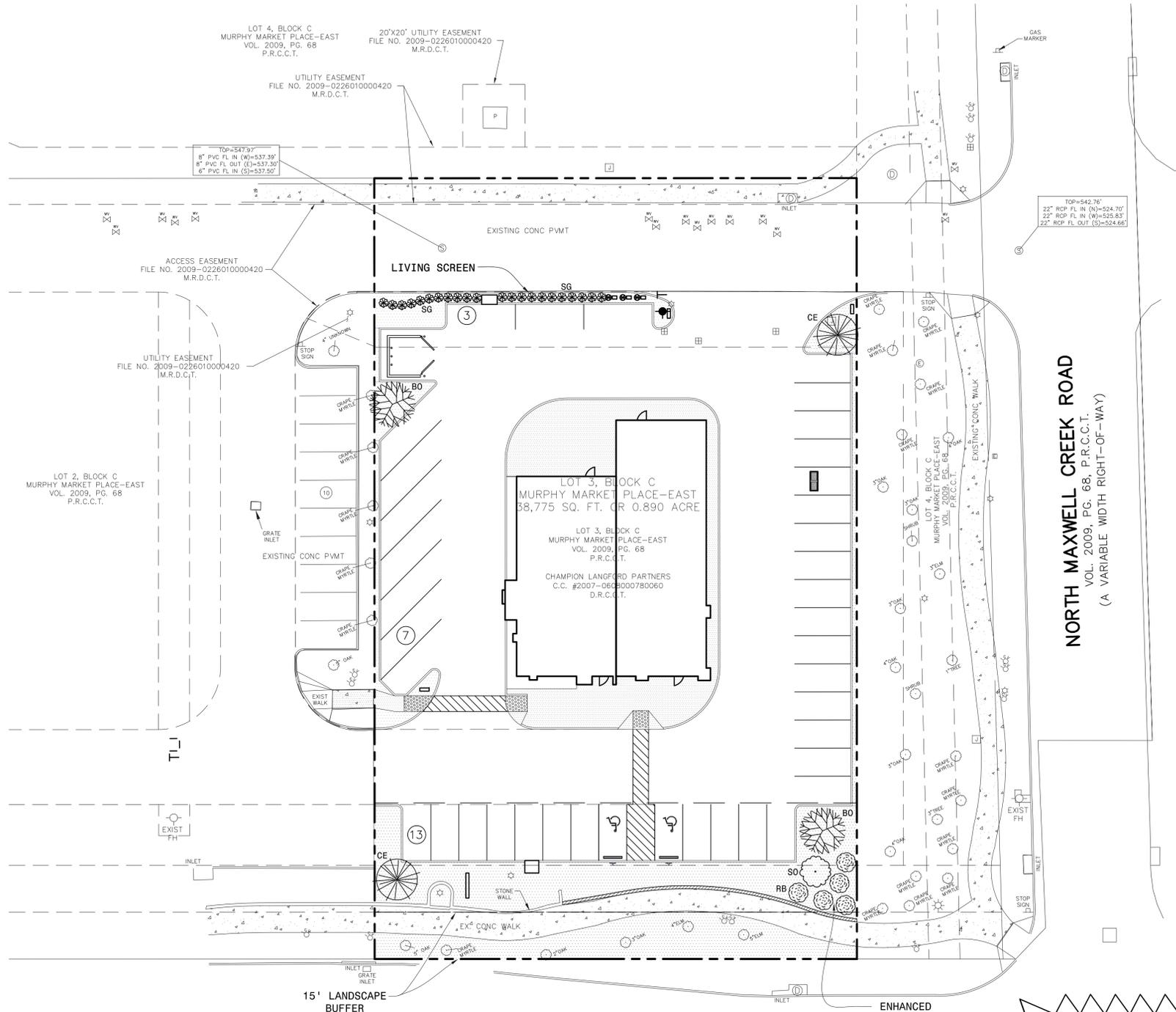
CHAMPION LANGFORD PARTNERS
 5925 TRINITY LIVES
 DALLAS, TEXAS 75248
 C/O ERIC LANGFORD
 TEL: 972-768-2232

SITE PLAN
 LOT 3, BLOCK C
 MURPHY MARKET PLACE PHASE 2
 MURPHY, TEXAS

dunkin'
 Brands

Scale: 1" = 20'
 Designed by: BTW
 Drawn by: TAC
 Checked by: BTW
 LANGFORD\dwg\SITE_PLAN.dwg
 12/22/2014

SHEET
SP1



CITY OF MURPHY, TEXAS - LANDSCAPE REQUIREMENTS

ZONING	PD - ORD. #12-10-923
TOTAL SITE AREA	0.89 AC / 39,032 S.F.
ONE LARGE TREE SHALL BE PROVIDED FOR EACH (12) PARKING SPACES (39 SPACES / 12)	REQ: 4 LARGE TREES PROV: 4 LARGE TREES
TOTAL S.F. 15' LANDSCAPE BUFFER AREA ALONG EAST F.M. 544	2,326 S.F.
15' LANDSCAPE BUFFER AREA ALONG EAST F.M. 544 BREAKDOWN (784 S.F. SIDEWALK & 1,542 SOD)	
ADDITIONAL MIN 5% OPEN SPACE AREA (MINUS 2' PARKING OVERHANG)	REQ: 131 S.F.
MIN 5% OPEN SPACE AREA	PROV: 2,614 S.F.
MIN 5% OF THE INTERIOR OF ENTIRE PARKING AREA SHALL BE LANDSCAPED (7,086 S.F.)	REQ: 354 S.F. (5%) PROV: 1,554 S.F. (21.9%)
PEDESTRIAN STREETSCAPE - (2) 5' BENCHES & (1) TRASH RECEPTACLE IN OPEN SPACE AREA ALONG F.M. 544	
ADDITIONAL ENHANCED LANDSCAPE AREA ADDED AT SOUTHWEST CORNER OF OPEN SPACE AREA	PROV: (1) LG TREE, (5) SM TREES

PLANT MATERIALS				
MINIMUM PLANTING REQUIREMENTS				
Quantity	Symbol	Common Name	Scientific Name	Size/Height/Remarks
2	CE	Cedar Elm	Ulmus crassifolia	3" cal. 7' Ht. Single Trunk
2	BO	Bur Oak	Quercus macro	3" cal. 7' Ht. Single Trunk
1	SO	Shumard Oak	Quercus macro	3" cal. 7' Ht. Single Trunk
5	RB	Oaklahoma Red Bud	Cercis renformis 'oaklahoma'	1.5" Cal 5 Ht. at planting
22	SG	Sage, Texas	Leucophyllum frutescens	Minimum, 2' height at planting, 5 Gal (Evergreen) 36" Spacing
5,295 SF		Common Bermuda	Cynodon dactylon	Sod

CAUTION!!!
EXISTING UNDERGROUND UTILITIES SITE CALL FOR LOCATES AT 24 HOURS PRIOR TO CONSTRUCTION

EAST F.M. 544
(A VARIABLE WIDTH RIGHT-OF-WAY)

APP.	
DATE	
NO.	

ARCHITECT:

LANDSCAPE PLAN
DUNKIN DONUTS
MURPHY, TEXAS

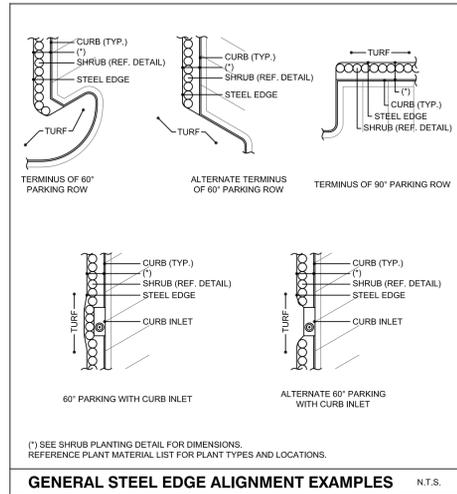
Scale: 1" = 20'
Designed by: JNM
Drawn by: JNM
Checked by: JNM
CSP:dmg
03/11/2013



LANDSCAPE & IRRIGATION PLANS
PREPARED BY:
MORRISON DESIGN GROUP, L.L.C.
5 MEADOW CREEK COURT
TROPHY CLUB, TEXAS 76262
PHONE: 682-208-9570
TX LI #8557

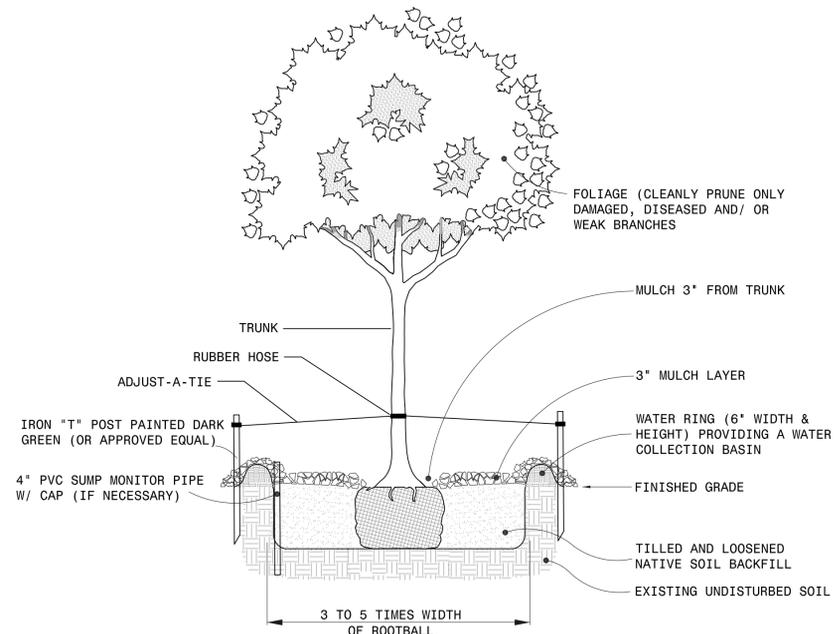
SHEET
LP1

APP.	
DATE	
NO.	

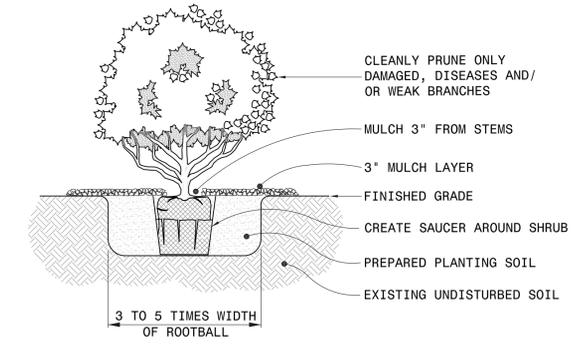


LANDSCAPE NOTES

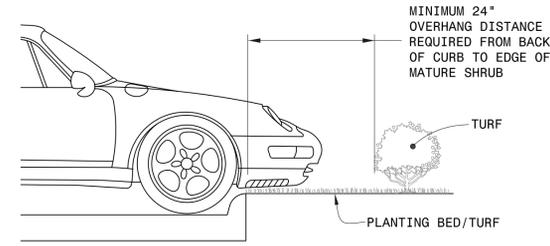
1. QUANTITIES INDICATED ON PLANT LIST SHOULD BE VERIFIED PRIOR TO BIDDING. CONTRACTOR IS RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS REQUIRED AT SPACING DESIGNATED FOR BED SIZES AND CONFIGURATIONS SHOWN ON PLANS REGARDLESS OF QUANTITIES DESIGNATED ON PLANT SCHEDULE.
2. CONTRACTOR SHALL NOTIFY LANDSCAPE DESIGNER OF ANY DISCREPANCIES, AMBIGUITY OR UNLABELED PLANTS ON PLANS PRIOR TO BID SUBMITTAL. IF DISCREPANCIES, AMBIGUITY OR UNLABELED PLANTS ARE NOT CLARIFIED BY LANDSCAPE DESIGNER PRIOR TO BID SUBMITTAL DATE, CONTRACTOR SHALL NOTE SUCH ITEMS ON BID.
3. SOIL AMENDMENTS TO BE "MIXED SOIL WITH COMPOST" AS PRODUCED BY LIVING EARTH TECHNOLOGY, OR APPROVED EQUIVALENT.
4. ALL HOLES FOR TREES AND LARGE SHRUBS SHALL BE TESTED FOR WATER RETENTION PRIOR TO TREE OR SHRUB PLANTING. AFTER HOLE IS EXCAVATED, IT IS TO BE FILLED WITH WATER TO THE TOP OF THE EXCAVATION. IF, AFTER 24 HOURS, THE HOLE STILL HOLDS WATER, THE CONTRACTOR SHALL EXCAVATE AN ADDITIONAL 6" FROM THE BOTTOM OF THE HOLE. THE LANDSCAPE CONTRACTOR SHALL THEN INSTALL 6" OF NATIVE WASHED GRAVEL COVERED ON THE TOP (AND UP TO A MINIMUM OF 12" ON THE SIDES OF THE HOLE) WITH FILTER FABRIC. THE CONTRACTOR SHALL ALSO INSTALL A CAPPED 3" DIAMETER PVC SUMP WHICH WILL EXTEND FROM NEAR THE BOTTOM OF THE ROCK LAYER TO 3" ABOVE THE PROPOSED FINISH GRADE SO THE HOLE CAN BE EXCAVATED THROUGH MECHANICAL MEANS.
5. MULCH TOP DRESSING TO BE A 3" MINIMUM LAYER OF SHREDDED HARDWOOD, SPREAD UNIFORMLY ON ALL SHRUB AND GROUNDCOVER BEDS AND ON ALL TREE SAUCERS.
6. BED EDGING TO BE 1/8"x 4" 'COL-MET' TYPE EDGING, OR APPROVED EQUIVALENT. EDGING TO BE OF GOOD QUALITY STEEL SECURED WITH METAL STAKES.
7. TREE HOLES TO BE EXCAVATED 3 TO 5 TIMES GREATER THAN ROOTBALL DIAMETER, BACKFILL WITH TILLED AND LOOSENED NATIVE SOIL.
8. SHRUB BED SHALL BE EXCAVATED 3 TO 5 TIMES GREATER THAN ROOTBALL DIAMETER AND 6" DEEPER. BACKFILL WITH 1/2 EXISTING NATIVE SOIL AND 1/2 COMPOST (OR APPROVED EQUAL) AS NOTED UNDER NOTE 3 ABOVE, THOROUGHLY BLENDED PRIOR TO BACKFILL.
9. ALL TREES AND SHRUBS SHALL BE PLANTED A MINIMUM OF FIVE FEET CLEAR FROM ANY UTILITIES, EXISTING OR PROPOSED. CALL FOR UTILITY LOCATES AT LEAST 48 HOURS PRIOR TO PLANTING. UTILITY METER AND VALVE COVERS SHALL NOT BE COVERED BY EARTH OR PLANTINGS.
10. ALL PLANTINGS (TREES, SHRUBS, GROUNDCOVER, AND/OR GRASS APPLICABLE) TO BE GUARANTEED AND WARRANTED FOR A PERIOD OF TWO YEARS AFTER FINAL ACCEPTANCE OF THE LANDSCAPE INSTALLATION.
11. LANDSCAPED AREAS WITH IRRIGATION SHALL BE REQUIRED IN ALL DEVELOPMENT AND CONSTRUCTION, THESE AREAS SHALL BE ADEQUATELY MAINTAINED AND PROMPTLY REPLACED IF NECESSARY.
12. ALL IRRIGATION IS TO BE FITTED WITH A FREEZE GAUGE AND A RAIN GAUGE IN ACCORDANCE WITH CITY STANDARDS. SEE SHEET I2 FOR MANUFACTURER AND MODEL.
13. THE RETAILER SHALL BE RESPONSIBLE FOR PROVIDING, PROTECTING AND MAINTAINING ALL LANDSCAPING IN A HEALTHY AND GROWING CONDITION; REPLACING IT IMMEDIATELY WHEN NECESSARY WITH THE SAME TYPE, SIZE, AND QUANTITY. ALL LANDSCAPED AREAS SHALL BE MAINTAINED TO PROVIDE CLEAN ATTRACTIVE GROUNDS.



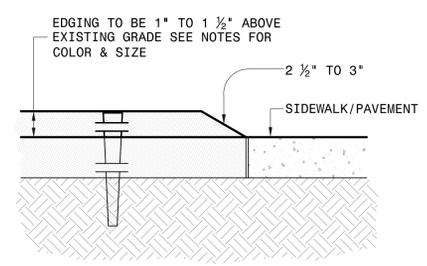
- NOTES:
1. REMOVE ALL BURLAP AND/OR WIRE FROM THE TOP OF THE ROOT BALL.
 2. TOP OF ROOTBALL TO BE SET LEVEL WITH SURROUNDING FINISH GRADE.



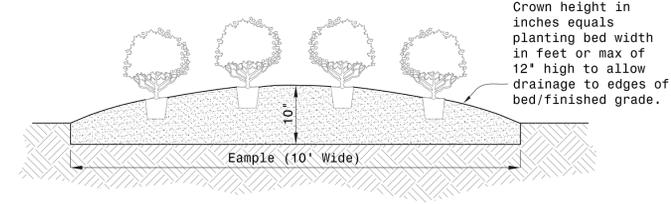
- NOTES:
1. ROTO-TILL 4" COMPOST INTO BED AREAS AND BLEND PRIOR TO BACKFILL.
 2. INSTALL PLANT.
 3. TOP DRESS A MINIMUM 3" LAYER SHREDDED HARDWOOD MULCH, SPREAD UNIFORMLY.
 4. WATER THOROUGHLY AFTER INSTALLATION.
 5. FINISH GRADE AROUND PLANT TO BE THE SAME AS ORIGINAL GRADE OF PLANT IN POT.



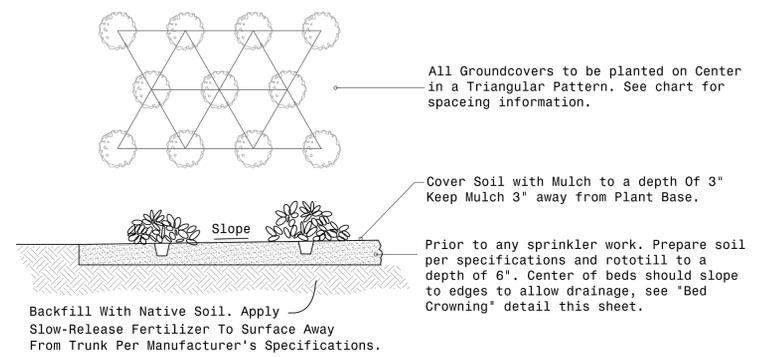
OVERHANG IN PLANTING/TURF AREAS (TYP) N.T.S.



STEEL EDGING DETAIL N.T.S.



TYP BED CROWNING DETAIL N.T.S.



GROUNDCOVER PLANTING DETAIL N.T.S.



Know what's below.
Call before you dig.

LANDSCAPE & IRRIGATION PLANS
PREPARED BY:
MORRISON DESIGN GROUP, L.L.C.
5 MEADOW CREEK COURT
TROPHY CLUB, TEXAS 76262
PHONE: 682-208-9570
TX LI #8557

ARCHITECT:

LANDSCAPE DETAILS

DUNKIN DONUTS
MURPHY, TEXAS

Scale: 1" = 20'
Designed by: JNM
Drawn by: JNM
Checked by: JNM
LSP:dmg
03/11/2013

SHEET

LP2

EXTERIOR FINISH MATERIAL SCHEDULE

CODE	MATERIAL	MANUFACTURER	PRODUCT NO.	DESCRIPTION	REMARKS
AW-1	DD FRESH BREW AWNING	ARLON	FB BROWN PRINT AWNING	32"H AWNING MATERIAL	PRE-PRINTED FRESH BREW MESSAGES AWNING MATERIAL - STANDARD APPLICATION
BC-1	ORANGE BOLLARD COVERS	IDEAL SHIELD	BC1-CC-4-52-S	4"W X 52"H ORANGE SLEEVE	
BR-01	BRICK	ENDICOTT	MEDIUM IRONSPOT #77	SIZE: MODULAR; TEXTURE: VELOUR	MINIMUM THICKNESS 3-5/8"
ST-01	STONE			LIMESTONE - WHITE	MINIMUM THICKNESS 3-5/8"
MT-01	METAL POWDERCOAT	TIGER DRYLAC	*043/24340	COLOR: RAL 2008	GL/SM FINISH
PT-01	STUCCO	PAREX STUCCO		COLOR: OYSTER TOTE! FINISH: 533 SAND SMOOTH	
PT-02	STUCCO	PAREX STUCCO		COLOR: ALMOND TORO! FINISH: 533 SAND SMOOTH	
PT-05	NOT USED				
PT-06	PAINT	SHERWIN WILLIAMS	7724	COLOR: CANOE; FINISH: SATIN	SATIN
PT-07	PAINT	SHERWIN WILLIAMS	6117	COLOR: SMOKEY TOPAZ; FINISH: SATIN	SATIN
PT-08	PAINT	SHERWIN WILLIAMS	6096	COLOR: JOIE BROWN; FINISH: SATIN	SATIN
PT-09	PAINT	SHERWIN WILLIAMS	6097	COLOR: STURDY BROWN; FINISH: SATIN	SATIN
PT-10	PAINT	SHERWIN WILLIAMS	6090	COLOR: JAVA; FINISH: SATIN	SATIN
PT-11	PAINT	SHERWIN WILLIAMS	6069	COLOR: FRENCH ROAST; FINISH: SATIN	SATIN
PT-12	PAINT	SHERWIN WILLIAMS	6006	COLOR: BLACK BEAN; FINISH: SATIN	SATIN

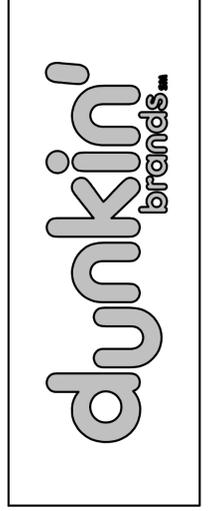


1 FRONT ELEVATION
 1/4"=1'-0" NOTE: DWG. IS NOT TO SCALE IF SHEET PLOTTED ON 11" x 17"



2 LEFT SIDE ELEVATION
 1/4"=1'-0" NOTE: DWG. IS NOT TO SCALE IF SHEET PLOTTED ON 11" x 17"

THESE PLANS ARE CONFIDENTIAL PROPERTY OF DUNKIN' BRANDS INC. UNDER RESTRICTED ACCESS.



ARCHITECT'S TITLE BLOCK AND SEAL

DATE	SCALE	AS NOTED	DRAWN	DEA	CHKD	APPD
12/23/14						

NO.	DESCRIPTION	REVISIONS	
		DATE	

FM 544 & N. MAXWELL CREEK RD.
 MURPHY, TEXAS
EXTERIOR ELEVATIONS AND FINISH SCHEDULE
 PC NUMBER

Issue

Consider and/or act on the application of property owner David Howard requesting approval of a site plan, landscape plan, building elevations and construction plat for an Assured Self Storage at the southwest corner of Murphy Road and Betsy Lane.

Background

On December 18, 2006, the City Council adopted Ordinance No. 06-12-709 creating a Planned Development District for Retail Uses on this property. On August 18, 2008, the City Council approved an amendment to Ordinance No. 6-12-708, creating Ordinance No. 08-08-756 allowing for mini warehouses/self-storage units on this site.

Summary

The applicant submitted a site plan, building elevation plans, landscape plans, and construction plat for approval that would allow for development of an Assured Self Storage at this site located at the southwest corner of Murphy Road and Betsy Lane, bordering the existing 7-11 site and the residential Stratford Crossing Addition. The site is currently vacant.

Per Ordinance No. 08-08-756 (attached), mini warehouses/self-storage units are an allowed use. Additionally, requirements detailed in the Planned Development District include:

- The minimum side or rear yard setback adjacent to a residential zoning shall be ten (10) feet.
- The maximum height shall be two stories or thirty five feet for the office/apartment building and 15 feet for the remaining buildings.
- Screening between the south property line and the single family subdivision to the south shall be accomplished via an eight (8) foot high masonry screening wall that matches the building elevations.
- All exterior elevations shall have a horizontal stone accent feature.
- A residence shall be permitted in the office building to allow for twenty-four (24) hour on-site management.
- No exterior lighting shall be allowed to be placed on the outside perimeter on storage buildings facing adjacent residential properties to the south or west that is higher than four (4) feet.
- Rooftop mechanical equipment shall not be permitted.
- Open, outside, recreational vehicle (RV) or boat storage shall be permitted.
- Commercial truck or trailer rental shall not be permitted.
- Hours of Operation shall be from 6:00 a.m. to 10:00 p.m.

Considerations

The site plan, landscape plan, building elevations and construction plat meet the above requirements.

Flag lot

- The intent of the owner is to develop this property by creating three lots.
- Division of this area into three lots creates a flag lot on lot 1.
 - o Chapter 70 Article III Section 70-76 of the Murphy Code of Ordinances states that "...triangular, severely elongated or tapered "flag" or "panhandle" lots shall be avoided, and the city reserves the right to disapprove any lot which, in its sole opinion, will not be suitable or desirable for the purpose intended, which is an obvious attempt to circumvent the purpose and intent of lot configuration or lot width minimums, or which is so oddly shaped as to create a hindrance to the logical lot layout of surrounding properties.
- It is of staff's opinion that although creating a flag lot, the developer is not trying to circumvent the intent of lot configuration, but creating an additional lot for development.
- The developer is choosing not to run a sewer line to the property that will remain currently undeveloped.
- However, upon execution a Developer's Agreement specific to this property, it will include verbiage stating sewer connection is not the responsibility of the City but rather the developer/owner at the time of development.

Underground Detention

- The developer proposes underground detention for the site. The City offers no objection to this detention.
- However, upon execution a Developer's Agreement specific to this property, it will include verbiage stating maintenance of this underground detention is not the responsibility of the City but rather the developer/owner.

Developer's Agreement

- Prior to scheduling of a Pre-Construction meeting or any permitting, the developer and the City shall have an executed Developer's Agreement.
 - o It will include verbiage stating sewer connection for Lot 1 is not the responsibility of the City but rather the developer/owner at the time of development.
 - o It will include verbiage stating maintenance of the underground detention is not the responsibility of the City but rather the developer/owner.

Site Plan

As mentioned above in the Planned Development District details, screening between the south property line and the single family subdivision to the south shall be accomplished via an eight (8) foot high masonry screening wall that matches the building elevations.

- It is the responsibility of the developer to work in conjunction with the residential property owners whose back fence is affected prior to any fence installation, as no back to back fencing is allowed per ordinance.

Additional Considerations for Notation

Prior to any construction, the appropriate permit documents from entities outside the City and an executed developer's agreement as mentioned above shall be on file.

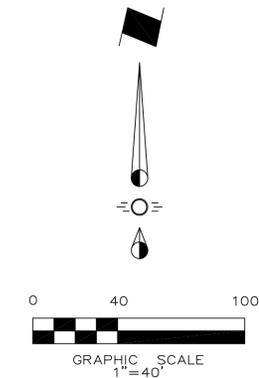
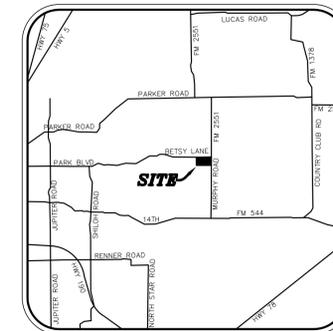
Staff Recommendation

Staff recommends approval of the site plan, landscape plan, building elevations, and construction plat as submitted with the considerations as noted in this agenda item.

Attachments

- Site Plan
- Building Elevations
- Landscape Plan
- Construction Plat
- Ordinance No. 08-08-756

WEST BETSY LANE
(115' R.O.W.)



Vicinity Map
NTS

GENERAL NOTES

- All materials and construction shall be in accordance with the City of Murphy, Texas Standard Paving Specifications.
- Existing utilities are shown schematically and are for the contractor's guidance only. The location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies, and, where possible, measurements taken in the field. The contractor must call the appropriate utility company at least 48 hours prior to any excavation to request exact field location of utilities.
- The contractor shall be responsible for protecting all existing improvements in the construction of this project. The contractor is responsible for repairs of damage to any existing improvements during construction. Repairs shall be equal to or better than condition prior to construction.
- All onsite paving dimensions are to the FACE of curb, where applicable, unless noted otherwise.
- All curb radii are 3' unless noted otherwise.
- All parking spaces are 9' x 20', unless noted otherwise.
- At the time of this site plan (9-26-2014) there were no trees existing on this site.

SYNOPSIS

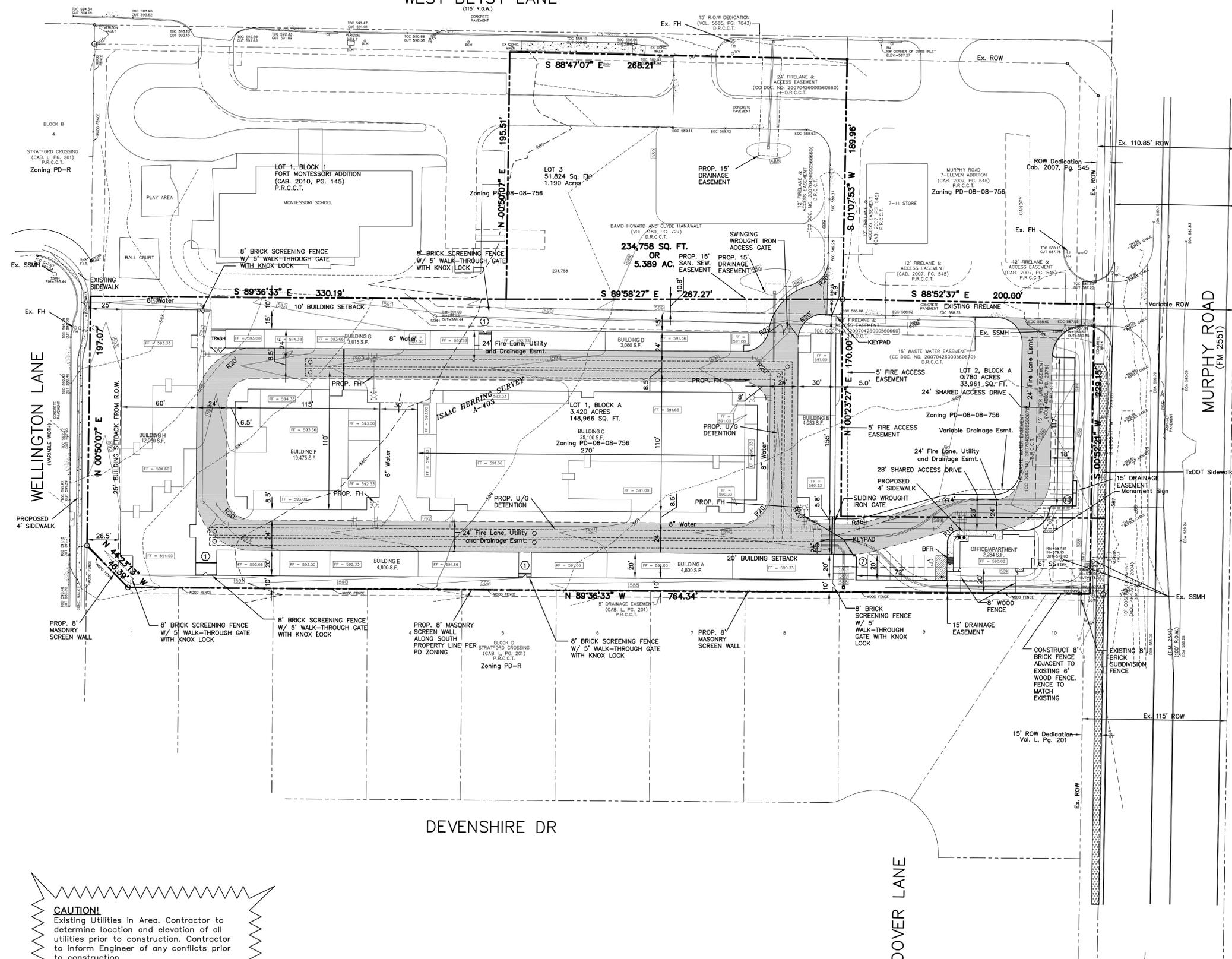
Zoning	PD-08-08-756
Proposed Use	Self Storage
Lot Area	3,420 AC. (148,975 s.f.)
Total Building Area	69,617 s.f.
Floor Area Ratio:	0.47:1
Lot Coverage	46.7%
Building Height	Max. 35'
Parking Required :	6 Spaces
Parking Provided :	7 Spaces (13 Additional on Lot 2)
HC Parking Required	1 Spaces
HC Parking Provided	1 Spaces
Legal Description	Lot 1, Block A Murphy Landing Addition

LEGEND

-  Proposed Sidewalk
-  Proposed Firelane
-  Barrier Free Ramp
-  Interconnected Sprinkler System

BENCHMARK LIST:

- Notes:
- Basis of bearings being N 89°36'33" W along the north line of Stratford Crossing, an addition to the City of Murphy, as recorded in Cabinet L, Page 201, P.R.C.C.T.
 - Benchmark:
NW corner of curb inlet located on the south line of Betsy Lane near the NW corner of 7-11 site shown hereon.
Elevation = 587.27



CAUTION!
Existing Utilities in Area. Contractor to determine location and elevation of all utilities prior to construction. Contractor to inform Engineer of any conflicts prior to construction.

Owner/Developer:
David Howard and Clyde Hanawalt
7200 Moss Ridge
Allen, Texas 75002
Ph: 972-424-9502
Contact: David Howard

APPLICANT/ENGINEER:
Cross Engineering Consultants, Inc.
131 S. Tennessee Street
McKinney, Texas 75069
Ph: 972-562-4409
Fax: 972-562-4471
Contact: Jon David Cross, P.E.

Issue Dates:	Revisions:	Date:
1	1	
2	2	
3	3	
4	4	
5	5	
6	6	

CROSS ENGINEERING CONSULTANTS
131 S. Tennessee St. McKinney, Texas 75069
972.562.4409 Texas P.E. Firm No. F-5935

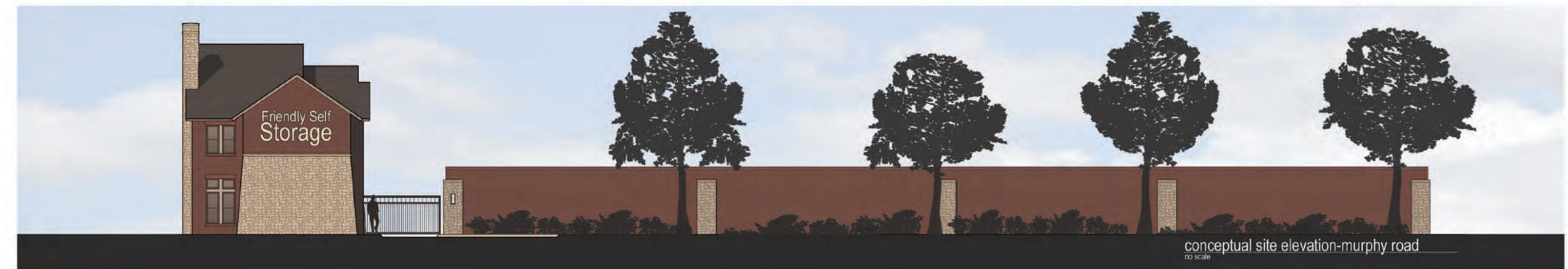
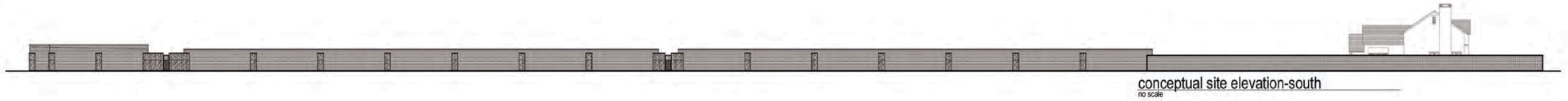
Drawn By:	Checked By:	Scale:
SLF	DKZ	1" = 40'

SITE PLAN
ASSURED SELF STORAGE
Murphy Landing Addition
CITY OF MURPHY, TEXAS

Sheet No.
SP
Project No.
13035

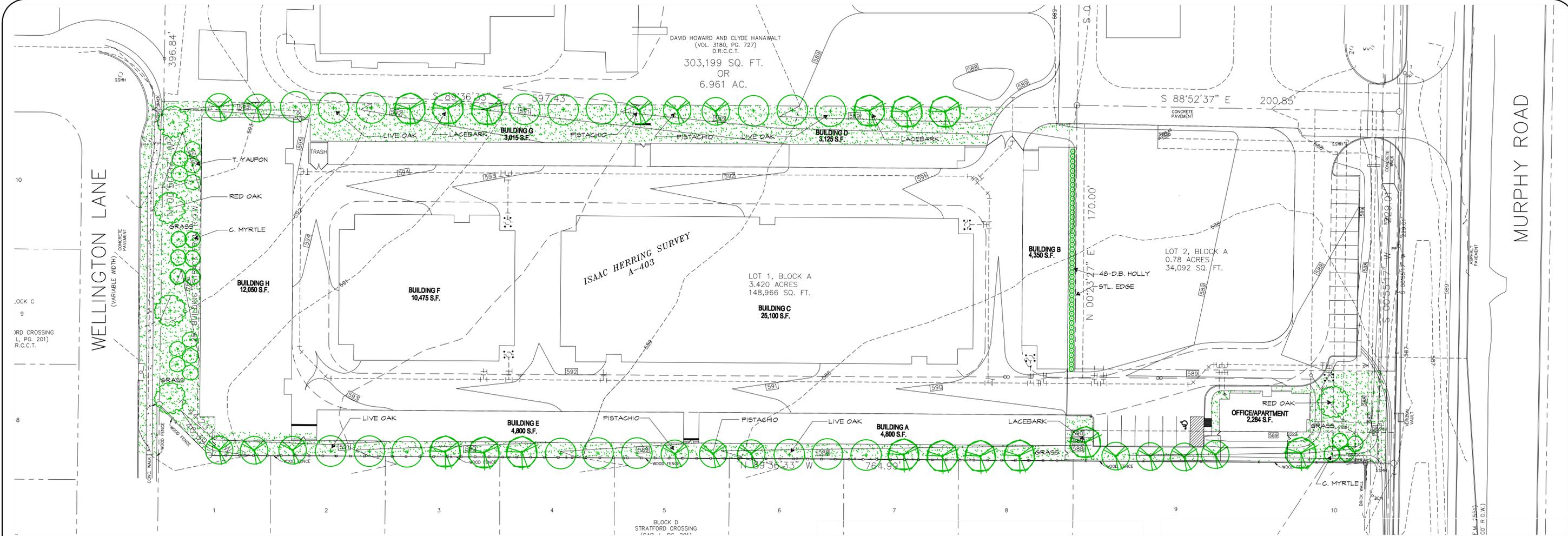
STOP!
CALL BEFORE YOU DIG
DIG TESS
1-800-DIG-TESS
(@ least 72 hours prior to digging)

SITE PLAN
ASSURED SELF STORAGE



Facade Plan Notes:

1. Proposed brick is hard fired clay brick matching the brick used on the Stratford Crossing subdivision fence.
2. Stone is to be "Austin" Stone or "Rattlesnake Austin" Stone blend in random builder's chop.
3. Roof material at office to be dimensional composition shingle in weathered gray color.
4. Building heights not to exceed 33' at office/apartment chimney or 12' at storage buildings.
5. This facade plan is for conceptual purposes only. All building plans require review and approval of the Building Inspection Department.
6. All mechanical units shall be screened from public view.
7. When permitted, exposed utility boxes and conduits shall be painted to match the building.
8. All signage areas and locations are subject to approval by the Building Inspection Department.
9. All brick/stone screening walls to be 8' typically.
10. All wrought iron fencing and gates to be 6' typically.



MAINTENANCE NOTE:
THE OWNER, TENANT, AND/OR THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS, AND OTHER SUCH MATERIAL OR PLANTS NOT A PART OF THE LANDSCAPING. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIALS WHICH DIE SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, WITHIN 90 DAYS.

LANDSCAPE TABULATIONS

SITE LANDSCAPE
20% OF SITE AREA TO BE PERMEABLE
SITE AREA: 148,966 SF
LANDSCAPE AREA REQUIRED (148,966 SF x 20% =): 29,793 SF
LANDSCAPE AREA PROVIDED: 21,496 SF

STREET BUFFER
25' BUFFER FOR FIRST 250' FROM CORNER OF TWO STREETS IF EITHER IS TYPE B OR LARGER, 15' ELSEWHERE.
LANDSCAPE BUFFER - 25' MURPHY, 15' WELLINGTON
STREET BUFFER LENGTH - WELLINGTON: 197 LF
LARGE BUFFER TREES REQUIRED (197 LF / 50 =): 4 LARGE TREES
ORN. BUFFER TREES REQUIRED (197 LF / 50 = 4 x 4 =): 16 ORN. TREES
BUFFER TREES PROVIDED: 4 LG./16 ORN. TREES

STREET BUFFER LENGTH - MURPHY: 60 LF
LARGE BUFFER TREES REQUIRED (60 LF / 50 =): 1 LARGE TREE
ORN. BUFFER TREES REQUIRED (60 LF / 50 = 1 x 4 =): 4 ORN. TREES
BUFFER TREES PROVIDED: 1 LG./4 ORN. TREES

PERIMETER BUFFER
5' NORMAL, 10' RESIDENTIAL, 1 TREE PER SOLF AT WALL
PERIMETER BUFFER LENGTH - SOUTH: 810 LF
LARGE BUFFER TREES REQUIRED (810 LF / 50 =): 21 TREES
BUFFER TREES PROVIDED: 21 TREES

PERIMETER BUFFER LENGTH - NORTH: 547 LF
LARGE BUFFER TREES REQUIRED (547 LF / 50 =): 20 TREES
BUFFER TREES PROVIDED: 20 TREES

INTERIOR PARKING
1 TREE W/IN 60' OF SPACES, 16 SF LAND. PER SPACE,
1 TREE PER 10 SPACES FOR LOT 20+ SPACES
INTERNAL BUFFER BETWEEN EVERY OTHER BAY OF PARKING 6' MIN. WIDTH.
ISLANDS AT END OF EA. PKG. ROW WITH ONE TREE, MAX 15 SPACES IN A ROW
PARKING LANDSCAPE REQUIRED (1 x 16 SF =): 112 SF
PARKING LANDSCAPE PROVIDED: 942 SF
PARKING TREES REQUIRED (1 SPACES / 10 SPACES =): N/A LESS THAN 20
PARKING TREES PROVIDED: N/A LESS THAN 20

ALL LANDSCAPE AREAS TO RECEIVE AUTOMATIC UNDERGROUND IRRIGATION W/ RAIN AND FREEZE SENSORS.

LARGE TREES

QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
18	(Symbol)	LIVE OAK	Live Oak	Quercus virginiana	3" caliper, 12'-14" Ht./ 5'-6" spread, B4B straight trunk, full rounded canopy
5	(Symbol)	RED OAK	Shumard Red Oak	Quercus shumardii	3" caliper, 12'-14" Ht./ 5'-6" spread, B4B straight trunk, full rounded canopy
15	(Symbol)	LACEBARK	Lacebark Elm	Ulmus parvifolia	3" caliper, 12'-14" Ht./ 5'-6" spread, B4B straight trunk, full rounded canopy
15	(Symbol)	PISTACHIO	Chinese Pistachio	Pistacia chinensis	3" caliper, 12'-14" Ht./ 5'-6" spread, B4B straight trunk, full rounded canopy
10	(Symbol)	C. MYRTLE	Red flowering Grape Myrtle	Lagerstroemia indica 'Cabraia Beauty'	1" caliper per trunk, 5 trunk minimum, 6' Ht./ 5' spread, B4B or container, female - heavy berried
10	(Symbol)	T. YAUPON	Yaupon Holly	Ilex vomitoria	1" caliper per trunk, 5 trunk minimum, 6' Ht./ 5' spread, B4B or container, female - heavy berried

SHRUBS

QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
48	(Symbol)	D.B. HOLLY	Dwarf Burford Holly	Ilex cornuta 'Burfordiana'	36" height, 24" spread

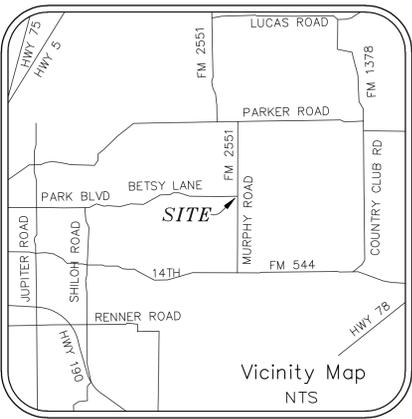
GROUNDCOVER / VINES

QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
AS SHOWN	(Symbol)	GRASS	Common Bermuda Grass	Cynodon dactylon	50d refer to specifications

MISCELLANEOUS

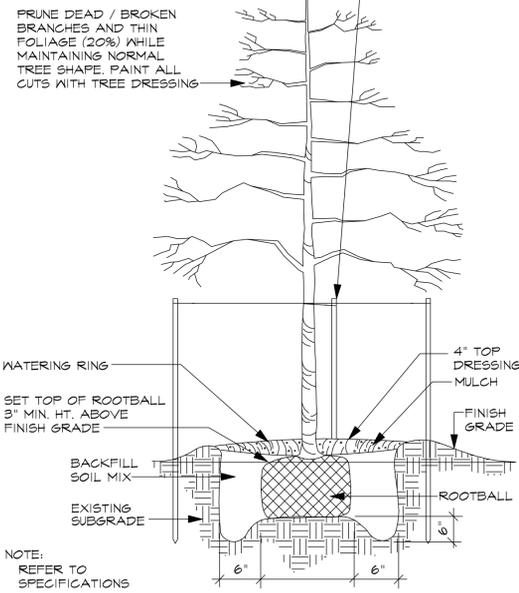
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
AS SHOWN	(Symbol)	STL. EDGE	L.F. Ryerson steel edge		1/8" x 4" with 12" stakes, green in color

LANDSCAPE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES



ALL LANDSCAPE AREAS TO RECEIVE AUTOMATIC UNDERGROUND IRRIGATION WITH RAIN AND FREEZE SENSORS.

(3) PRESSURE TREATED HARDWOOD STAKES (2" X 2" X 8') WITH 12 GAUGE (5) STRAND GALV. STEEL CABLE AND 3" TURNBUCKLE. ENCASE LOOP IN REIN. RUBBER HOSE. CANOPY TREES: SECURE AT LOWEST BRANCH. EVERGREEN / ORNAMENTAL TREES: SECURE AT TOP OF STAKE HEIGHT.



Issue Dates:	Revisions:	Date:
1	1	
2	2	
3	3	
4	4	
5	5	
6	6	

RAMSEY LANDSCAPE ARCHITECTS, LLC
11914 WISHINGWELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
MIKE RAMSEY

Drawn By: RLA
Checked By: RLA
Scale: 1" = 30'

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF MICHAEL RAMSEY REGISTERED LANDSCAPE ARCHITECT #1901. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.

LANDSCAPE PLAN
FRIENDLY SELF STORAGE
Murphy Landing Addition
CITY OF MURPHY, TEXAS

Sheet No.
L 1
of 1



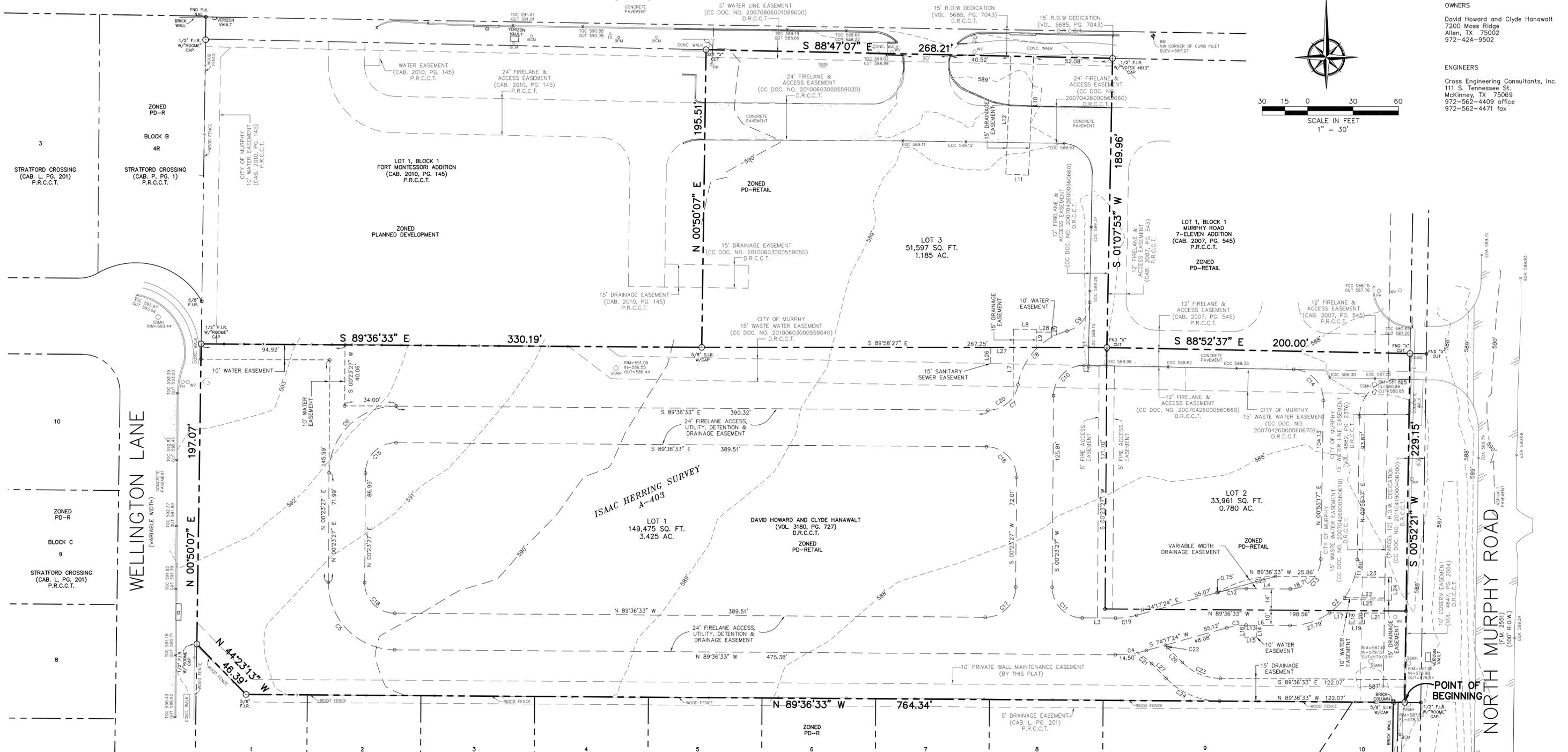
WEST BETSY LANE

(115' R.O.W.)



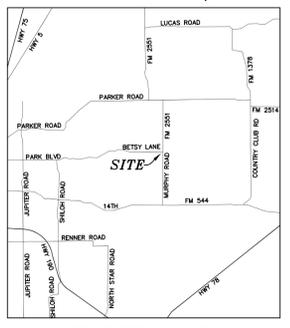
OWNERS
 David Howard and Clyde Hanawalt
 7200 Moss Ridge
 Allen, TX 75002
 972-424-9502

ENGINEERS
 Cross Engineering Consultants, Inc.
 111 S. Tennessee St.
 McKinney, TX 75069
 972-562-4409 office
 972-562-4471 fax



LEGEND

S.I.R.	SET IRON ROD
W/CAP	WITH CAP STAMPED "DUNAWAY ASSOC, LP"
F.I.R.	FOUND IRON ROD
W/CAP	WITH CAP
PP	POWER POLE
BCM	BURIED CABLE MARKER
BPM	BURIED PIPELINE MARKER
WV	WATER VALVE
FH	FIRE HYDRANT
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
CI	CURB INLET
TS	TRAFFIC SIGN
D.R.C.C.T.	DEED RECORDS COLLIN COUNTY TEXAS
P.R.C.C.T.	PLAT RECORDS COLLIN COUNTY TEXAS
—E—	EDGE OF ASPHALT
—X—	FENCE
—	EXISTING CONTOUR



- Notes:**
- Basis of bearings being N 89°36'33" W along the north line of Stratford Crossing, an addition to the City of Murphy, as recorded in Cabinet L, Page 201, P.R.C.C.T.
 - Benchmark: NW corner of curb inlet located on the south line of Betsy Lane near the NW corner of 7-11 site shown hereon. Elevation = 587.27
 - NOTICE: Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and withholding of utilities and building permits.
 - No obstructions, including fences, may be constructed within the 5' Fire Access Easement on Lot 2. All paving within this area shall be without curbing.
 - Maintenance of walls is not the responsibility of the City of Murphy.
 - Field data for this project was originally collected on 9-12-08.
 - No structures of any type shall be placed within the 5' Fire Easement.

CURVE TABLE

DELTA	RADIUS	LENGTH	CHORD
C1	90°21'08"	25.00'	39.42' S 46°05'51" W - 35.46'
C2	89°28'10"	44.00'	68.71' S 45°39'22" W - 61.94'
C3	16°06'03"	46.00'	12.93' S 82°20'25" W - 12.88'
C4	16°06'03"	74.00'	20.79' S 82°20'25" W - 20.73'
C5	90°00'00"	44.00'	69.12' N 44°36'33" W - 62.23'
C6	90°00'00"	44.00'	69.12' N 45°23'27" E - 62.23'
C7	80°51'51"	20.00'	28.23' N 49°57'32" E - 25.94'
C8	65°51'51"	44.00'	50.58' N 42°27'32" E - 47.84'
C9	74°13'52"	20.00'	25.91' N 38°16'31" E - 24.14'
C10	89°53'30"	20.00'	31.38' S 45°20'12" W - 28.26'
C11	90°00'00"	20.00'	31.42' S 44°36'33" E - 28.28'
C12	16°06'03"	70.00'	19.67' N 82°20'25" E - 19.61'
C13	89°28'10"	20.00'	31.23' N 45°39'22" E - 28.15'
C14	89°47'54"	20.00'	31.35' N 43°58'40" W - 28.23'
C15	90°00'00"	20.00'	31.42' N 45°23'27" E - 28.28'
C16	90°00'00"	20.00'	31.42' S 44°36'33" E - 28.28'
C17	90°00'00"	20.00'	31.42' S 45°23'27" W - 28.28'
C18	90°00'00"	20.00'	31.42' N 44°36'33" W - 28.28'
C19	16°06'03"	50.00'	14.05' N 82°20'25" E - 14.00'
C20	56°16'47"	20.00'	19.65' N 62°15'04" E - 18.86'

CURVE TABLE

DELTA	RADIUS	LENGTH	CHORD
C21	17°19'19"	40.00'	12.09' N 53°16'13" W - 12.05'
C22	02°26'44"	55.00'	2.35' S 45°49'55" E - 2.35'
C23	45°00'00"	35.00'	27.49' S 67°06'33" E - 26.79'
C24	45°00'00"	50.00'	39.27' N 67°06'33" W - 38.27'
C25	31°30'05"	72.50'	39.86' S 74°38'24" W - 39.36'

LINE TABLE

BEARING	LENGTH
L1	S 01°09'35" W 41.55'
L2	N 89°42'16" W 2.91'
L3	S 89°36'33" E 21.93'
L4	S 89°36'33" E 28.96'
L5	N 89°07'39" W 7.52'
L6	S 89°36'33" E 28.96'
L7	N 00°23'27" E 44.48'
L8	S 89°36'33" E 15.00'
L9	S 00°23'27" W 12.87'
L10	N 02°27'29" W 77.88'
L11	N 87°32'31" W 15.00'

LINE TABLE

BEARING	LENGTH
L12	N 02°27'29" E 77.55'
L13	S 89°36'33" E 6.82'
L14	S 00°16'38" W 7.88'
L15	N 89°40'15" W 7.71'
L16	N 00°16'38" E 7.88'
L17	S 89°36'33" E 13.06'
L18	N 00°23'27" W 7.27'
L19	S 89°36'33" E 10.00'
L20	N 00°23'27" E 7.16'
L21	S 89°36'33" E 13.14'
L22	S 89°36'33" W 26.36'
L23	S 89°36'33" E 24.52'
L24	S 00°23'27" W 15.00'
L25	N 89°36'33" W 31.90'
L26	N 00°23'27" E 10.50'
L27	S 89°36'33" E 15.00'
L28	S 89°36'33" E 10.00'
L29	N 00°23'27" E 3.29'

SHEET 1 OF 2
CONSTRUCTION PLAT
MURPHY LANDING ADDITION
 LOTS 1-3, BLOCK 1
 5.389 ACRES
 SITUATED IN THE
 ISAAC HERRING SURVEY, ABST. NO. 403
 CITY OF MURPHY
 COLLIN COUNTY, TEXAS
 BY

 550 Bailey Avenue • Suite 400 • Fort Worth, Texas 76107
 Tel: 817.335.1121 • Fax: 817.335.7437
 FIRM REGISTRATION 10098100
 NOVEMBER 2014

STATE OF TEXAS §
COUNTY OF COLLIN §

WHEREAS, DAVID HOWARD AND CLYDE HANAWALT are the Owners of a tract of land more particularly described as follows:

BEING a 5.389 acre tract of land situated in the Isaac Herring Survey, Abstract No. 403, Collin County, Texas, said tract being a part of a tract of land described in deed to David Howard and Clyde Hanawalt, as recorded in Volume 3180, Page 727, Deed Records Collin County, Texas (D.R.C.C.T.), said tract being more particularly described as follows:

BEGINNING at a set 5/8-inch iron rod with a cap stamped "DUNAWAY ASSOC. LP" for the southwest corner of a tract (Parcel 12) of land described in deed to the State of Texas, as recorded in County Clerk Document No. 20110419000406500, D.R.C.C.T., said corner being on the west right-of-way line of Murphy Road (variable width R.O.W.)(F.M. 2551);

THENCE North 89 degrees 36 minutes 33 seconds West, departing said west right-of-way line, passing at a distance of 4.35 feet the northeast corner of Lot 10, Block D, Stratford Crossing, an addition to the City of Murphy, as recorded in Cabinet L, Page 201, Plat Records Collin County, Texas (P.R.C.C.T.), continuing along the north line of said Stratford Crossing, a total distance of 764.34 feet to a 5/8-inch found iron rod for corner;

THENCE North 44 degrees 23 minutes 13 seconds West, continuing along said Stratford Crossing, a distance of 46.39 feet to a 1/2-inch found iron rod with a cap stamped "ROOME" for corner;

THENCE North 00 degrees 50 minutes 07 seconds East, continuing along said Stratford Crossing, a distance of 197.07 feet to a 1/2-inch found iron rod with a cap stamped "ROOME" for the southwest corner of Lot 1, Block 1, Fort Montessori Addition, an addition to the City of Murphy, as recorded in Cabinet 2010, Page 145, P.R.C.C.T.;

THENCE South 89 degrees 36 minutes 33 seconds East, departing said Stratford Crossing and along the south line of said Fort Montessori Addition, a distance of 330.19 feet to a set 5/8-inch iron rod with a cap stamped "DUNAWAY ASSOC. LP" for the southeast corner of said Fort Montessori Addition;

THENCE North 00 degrees 50 minutes 07 seconds East, along the east line of said Fort Montessori Addition, a distance of 195.51 feet to a set X cut in concrete for the northeast corner of said Fort Montessori Addition, said corner on the south right-of-way line of West Betsy Road (variable width R.O.W.), as described in deed recorded in Volume 5685, Page 7043, D.R.C.C.T.;

THENCE South 88 degrees 47 minutes 07 seconds East, along the south right-of-way line of said West Betsy Road, a distance of 268.21 feet to a 1/2-inch found iron rod with a cap stamped "VOTEX 4813" for the northwest corner of Lot 1, Block 1, Murphy Road 7-Eleven Addition, an addition to the City of Murphy, as recorded in Cabinet 2007, Page 545, P.R.C.C.T.;

THENCE South 01 degrees 07 minutes 53 seconds West, departing said south right-of-way line and along the west line of said Murphy Road 7-Eleven Addition, a distance of 189.96 feet to a found "X" cut for the southwest corner of said Murphy Road 7-Eleven Addition;

THENCE South 88 degrees 52 minutes 37 seconds East, along the south line of said Murphy Road 7-Eleven Addition, a distance of 200.00 feet to a found "X" cut for the southeast corner of said Murphy Road 7-Eleven Addition and the northwest corner of the aforementioned State of Texas Parcel 12 for the west right-of-way line of said Murphy Road;

THENCE South 00 degrees 52 minutes 21 seconds West, along said west right-of-way line, a distance of 229.15 feet to the POINT OF BEGINNING AND CONTAINING 234,751 square feet or 5.389 acres of land more or less.

NOW, THEREFORE, KNOWN ALL MEN BY THESE PRESENTS:

That _____, acting herein by and through his (its) duly authorized officer(s), does hereby adopt this plat designating the herein above described property as MURPHY LANDING ADDITION, an addition to the City of Murphy, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, rights-of-way, and other public improvements shown thereon. The streets and alleys, if any, are dedicated for street purposes. The easements and public use areas, as shown, are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City Council of the City of Murphy. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Murphy's use thereof. The City of Murphy and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Murphy and public utility, entities shall at all times have the full right of ingress and egress to or from the respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Murphy, Texas

WITNESS, my hand, this the _____ day of _____, 2014.

BY:

Authorized Signature of Owner

Printed Name and Title

STATE OF TEXAS §
COUNTY OF COLLIN §

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____, Owner, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 2014.

Notary Public in and for the State of Texas

My Commission Expires On:

Approved for preparation of final plat following construction of all public improvements (or appropriate sureties thereof) necessary for the subdivision shown on this plat

RECOMMENDED BY: Planning and Zoning Commission
City of Murphy, Texas

Signature of Chairperson Date of Recommendation

APPROVED BY: City Council
City of Murphy, Texas

Signature of Mayor Date Approval

ATTEST:

City Secretary Date

Fire Lanes

That the undersigned does hereby covenant and agree that he (they) shall construct upon the fire lane easements, as dedicated and shown hereon, a hard surface in accordance with the City of Murphy's paving standards for fire lanes, and that he (they) shall maintain the same in a state of good repair at all times and keep the same free and clear of any structures, fences, trees, shrubs, or other improvements or obstruction, including but not limited to the parking of motor vehicles, trailers, boats or other impediments to the accessibility of fire apparatus. The maintenance of paving on the fire lane easements is the responsibility of the owner, and the owner shall post and maintain appropriate signs in conspicuous places along such fire lanes, stating "Fire Lane, No Parking or Standing." The local law enforcement agency(s) is hereby authorized to enforce parking regulations within the fire lanes, and to cause such fire lanes and utility easements to be maintained free and unobstructed at all times for fire department and emergency use.

Access Easements

The undersigned does covenant and agree that the access easement may be utilized by any person or the general public vehicular and pedestrian use and access, and for fire department and emergency use in, along, upon and across said premises, with the right and privilege at all times of the City of Murphy, its agents, employees, workmen and representatives having ingress, egress, and regress in, along, upon and across said premises.

KNOWN ALL MEN BY THESE PRESENTS:

That I, Hal Mollenkopf, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as "set" were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Murphy.

Signature of Registered Professional Land Surveyor
Registration No. 5439

STATE OF TEXAS §
COUNTY OF COLLIN §

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Hal Mollenkopf, Registered Professional Surveyor, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 2014.

Notary Public in and for the State of Texas

My Commission Expires On:

SHEET 2 OF 2
CONSTRUCTION PLAT
MURPHY LANDING ADDITION
LOTS 1-3, BLOCK 1
5.389 ACRES
SITUATED IN THE
ISAAC HERRING SURVEY, ABST. NO. 403
CITY OF MURPHY
COLLIN COUNTY, TEXAS
BY



550 Bailey Avenue • Suite 400 • Fort Worth, Texas 76107
Tel: 817.335.1121 • Fax: 817.335.7437
FIRM REGISTRATION 10098100

NOVEMBER 2014

ORDINANCE NO. 08-08-756

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MURPHY, COLLIN COUNTY, TEXAS, AMENDING ITS COMPREHENSIVE ZONING ORDINANCE AND MAP, CHAPTER 86 OF THE CITY OF MURPHY CODE OF ORDINANCES BY AMENDING AN EXISTING PLANNED DEVELOPMENT DISTRICT FOR RETAIL USES ON APPROXIMATELY 3.433 ACRES OUT OF THE ISAAC HERRING SURVEY, ABSTRACT NO. 403, LOCATED IN THE CITY OF MURPHY, COLLIN COUNTY, TEXAS AND MORE PARTICULARLY DESCRIBED ON EXHIBIT "A" ATTACHED HERETO AND INCORPORATED HEREIN BY REFERENCE FOR ALL PURPOSES, APPROVING PLANNED DEVELOPMENT STANDARDS HERETO AS EXHIBIT "B"; PROVIDING A SEVERABILITY CLAUSE, PROVIDING A PENALTY CLAUSE, AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Murphy and the City Council of the City of Murphy, in compliance with the laws of the State of Texas, have given the requisite notices by publication and otherwise, and have held due hearings and afforded a full and fair hearing to all property owners generally and to all persons interested, and the City Council of the City of Murphy is of the opinion and finds that said changes should be granted and that the Comprehensive Zoning Ordinance should be amended;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MURPHY, TEXAS, AS FOLLOWS:

Section 1. That the Comprehensive Zoning Ordinance and Map of the City of Murphy, Texas, be, and the same are hereby, amended so as to amend a Planned Development District for Retail Uses for the property described as 3.433 acres, more or less, in the Isaac Herring Survey, Abstract No. 403, in the City of Murphy, Collin County, Texas, and more particularly described in Exhibit "A" attached hereto and made part hereof for all purposes.

Section 2. That the development standards for this Planned Development District are attached hereto as Exhibit "B", and the same are hereby approved for said Planned Development District as required by Section 86-603, of the City of Murphy, Texas Code of Ordinances.

Section 3. That Chapter 86 of the City of Murphy Code of Ordinances, as amended, shall be and remain in full force and effect save and except as amended by this Ordinance.

Section 4. If any word, section, article, phrase, paragraph, sentence, clause or portion of this Ordinance is held to be invalid or unconstitutional by a court of competent jurisdiction, such holding shall not affect, for any reason, the validity of the remaining portions of the Comprehensive Zoning Ordinance, Chapter 86 of the City of Murphy Code of Ordinances, and the remaining portions shall remain in full force and effect.

Section 5. Any person, firm or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and, upon conviction, in the municipal court of the City of Murphy, Texas, shall be punished by a fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense, and each and every day any such violation shall continue shall be deemed to constitute a separate offense.

Section 6. This Ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and Charter in such cases provide.

PASSED, APPROVED AND ADOPTED this the 18th day of August 2008.



Bret M. Baldwin, Mayor
City of Murphy

ATTEST:



Aimee Nemer, City Secretary
City of Murphy

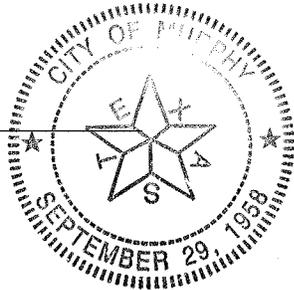


EXHIBIT "A"

GF#: PK08324221

Legal Description

SITUATED in the State of Texas, County of Collin and City of Murphy, being part of the Isaac Herring Survey, Abstract No. 403, being part of a 33.453 acre tract as recorded in Volume 3180, Page 727 of the Collin County Land Records with said premises being more particularly described as follows:

BEGINNING at a 1/2" Roome capped iron rod found in the west right-of-way line of Murphy Road (F.M. Road 2551) marking the most southerly southeast corner of the herein described premises and the most easterly northeast corner of Stratford Crossing, an addition to the City of Murphy as recorded in Volume L, Page 201 of the Collin County Map Records;

THENCE with the south line of said premises and a north line of said addition, North 89 50' 24" West, 774.99 feet to a 5/8" iron rod found marking an interior corner of said premises and said addition;

THENCE with a southwest line of said premises and a northeast line of said addition, North 44 37' 04" West, 46.39 feet to a 1/2" Roome capped iron rod set marking an interior corner of said premises and said addition;

THENCE with the west line of said premises and an east line of said addition, North 00 36' 16" East, 197.07 feet to a 1/2" Roome capped iron rod set marking the northwest corner of the herein described premises;

THENCE with a north line of said premises, South 89 50' 24" East, 597.41 feet to an "X" set in concrete marking the most notherly northeast corner of said premises;

THENCE with an east line of said premises, South 00 24' 04" West, 170.00 feet to a 1/2" Roome capped iron rod set marking an interior corner of said premises;

THENCE with a north line of said premises, South 89 50' 24" East, 210.00 feet to a 1/2" Roome capped iron rod set marking the most easterly northeast corner of said premises and being in the west right-of-way line of the aforementioned Murphy Road (F.M. Road 2551);

THENCE with the west right-of-way line of Murphy Road (F.M. 2551) and the most easterly east line of said premises, South 00 41' 26" West, 60.00 feet to the point of beginning and containing 149,542 square feet or 3.433 acres of land.

Hexter-Fair Title Company
Commitment for Title Insurance - Schedule A, Exhibit A

EXHIBIT A - SEE REFERENCE IN SCHEDULE
A - ITEM 4, LEGAL DESCRIPTION OF LAND

EXHIBIT B

ZONING FILE NO. 2008-01

FM 2551 (North Murphy Road), south of West Betsy Lane

PLANNED DEVELOPMENT CONDITIONS

- I. **Statement of Purpose:** The purpose and intent of this Planned Development District is to permit the development of retail uses and to amend certain development conditions.
- II. **Statement of Effect:** This Planned Development shall not affect any regulation found in the City of Murphy Code of Ordinances, Ordinance No. 06-12-708, as amended, except as specifically provided herein.
- III. **General Regulations:** All regulations of the R (Retail) District set forth in Article III, Division 14 of the City of Murphy Code of Ordinances (Ordinance No. 06-12-708) in effect on the effective date of this ordinance are included by reference, except as otherwise specified by this ordinance.
- IV. **Development Plans:**
 - A. Concept Plan: Development shall be in general conformance with the approved concept plan set forth in Exhibit C; however, in the event of conflict between the concept plan and the conditions, the conditions shall prevail.
 - B. Landscape Plan: Development shall be in general conformance with the approved landscape plan set forth in Exhibit D; however, in the event of conflict between the landscape plan and the conditions, the conditions shall prevail.
 - C. Exterior Elevation Plan: Development shall be in general conformance with the approved exterior elevations as set forth in Exhibit E; however, in the event of conflict between the exterior elevations and the conditions, the conditions shall prevail.
 - D. Facade Plan: Development shall be in general conformance with the approved facade plan as set forth in Exhibit F; however, in the event of conflict between the facade plan and the conditions, the conditions shall prevail.
- V. **Specific Regulations:**
 - A. Permitted Uses: All uses of the R (Retail) District shall be permitted. In addition, the following uses shall be permitted.
 1. Automotive Gasoline or Motor Fuel Service Station.
 2. Bank
 3. Offices (Health Services)
 4. Offices (Legal Services)
 5. Offices (Professional)
 6. Real Estate Offices
 7. Mini-Warehouse/Self Storage
 - B. Area Regulations: The minimum side or rear yard setback adjacent to a residential zoning district shall be 10 feet.

EXHIBIT B

- C. Height Regulations: The maximum height shall be two (2) stories or thirty-five (35') for the office/apartment building and 15 feet for the remaining buildings.
- D. Exterior Elevations: All exterior elevations shall have a horizontal stone accent feature.
- E. Screening: Screening between the south property line and the single family subdivision to the south shall be accomplished via a eight (8) foot high masonry screening wall that matches the building elevations.
- F. Residence: A residence shall be permitted in the office building to allow for twenty-four (24) hour on-site management.
- G. Lighting: No exterior lighting shall be allowed to be placed on the outside perimeter on storage buildings facing adjacent residential properties to the south or west that is higher than four (4) feet.
- H. Rooftop Mechanical Equipment: Rooftop mechanical equipment shall not be permitted.
- I. Outside Storage: Open, outside, recreational vehicle (RV) or boat storage shall be permitted.
- J. Rental Services: Commercial truck or trailer rental shall not be permitted.
- K. Hours of Operation: Hours of Operation shall be from 6:00 a.m. to 10:00 p.m.

Issue

Hold a public hearing and consider and/or act on the application of Saritha Yeddula, Charlotte Dye, Kelly Smith and Orange-Birmingham, LLC requesting to amend PD Ordinance No. 12-06-914 including a change in zoning of approximately 6.3 acres from SFR (Single Family Residential) to PD (Planned Development) District for Retail Uses and amending the Concept Plan, Landscape Plan and Planned Development Conditions. This property is located at SWC FM 544 and McCreary Road.

Background

In June 2012, the City Council approved Planned Development District Ordinance No. 12-06-914. This ordinance includes Planned Development District Conditions and a concept plan depicting three retail buildings on approximately 11 acres at the SWC corner of McCreary and FM 544. However, at the time, there were no immediate plans to develop the property as such with the exception of FM 544 frontage/northeast corner which is now a CVS.

Summary

The proposed use for the property is intended to provide for Retail uses. The applicants are requesting to amend the PD Ordinance No. 12-06-914:

- To include an additional approximately 6.3 acres into the Planned Development District, re-zoning the 6.3 acres from SFR and incorporating into the PD.
- Amending the Concept Plan exhibit to include the additional approximately 6.3 acres and identify an amended site layout
- Amending the Landscape Plan exhibit
- Amending the Planned Development Conditions

Considerations

Planned Development District Conditions

The applicant has requested modifications to the existing Planned Development Conditions in PD Ordinance No. 12-06-914 as attached and shown in Exhibit B:

1. V. Development Plans: C. Exterior Elevations
 - a. The verbiage to now read: Exterior Elevation Plan: Development shall be in general conformance with the approved exterior elevations as set forth in Exhibit E; or as shown on the exterior color elevations submitted during site plan approval process. However, in the event of conflict between the exterior elevations and the conditions, the conditions shall prevail.

2. V. Development Plans: D. Signage Plan

- a. The verbiage to now read: Signage Plan: Development shall be in general conformance with the approved signage plan as set forth in Exhibit F; however, in the event of conflict between the signage plan and the conditions, the conditions shall prevail. The Signage Plan may be amended and altered at the time of Site Plan approval to accommodate the anchor and pad sites.

3. V. Development Plans: E.

- a. Concept Plan, Landscape Plan, Exterior Elevation Plan, and Signage Plan approval shall be for a period of one year from the date of City Council action on the plan. If within that one-year period a site plan has been submitted and approved for a portion of the development, then the Concept Plan shall be deemed to have no expiration date. Site plans shall be valid for a period of one year from the date of City Council action on the plan. This period shall be extended by an additional year with a request in writing to the City Manager.
- b. The applicant requested this approval period be three years, however, staff feels two years is time to allow for development.

4. VI. Specific Regulations: A. Permitted Uses:

- a. Modify the Food or Grocery Store (SUP) requirement to be an allowed use by right. SUP requirement removed.
- b. Add Fuel Center as an accessory use to a Grocery Store
- c. Add Car Wash as an accessory use to a Fuel Center
- d. Add Dry Cleaners
- e. Add Drive Thru to Restaurant Use (not allowed to face residential property)

5. VI. Specific Regulations: B. Area and Yard Regulations.

- a. (2) Minimum Lot/Tract Width: Minimum frontage requirements for lots adjacent to either FM 544 or McCreary Road shall be 90'. This was 100'.
- b. (4) Pad Sites: The maximum number of pad sites allowed along FM 544 shall be three (3). This was two (2).
 - i. The boundary size and configuration of the overall property has increased.

6. VI. Specific Regulations: E. Building Height

- a. All structures shall have a maximum building height of thirty-five (35) feet except that the maximum height may be increased to forty-five (45) feet for the anchor building or to allow for architectural elements.

7. VI. Specific Regulations: F. Minimum Exterior Construction Standards, Building Materials and Design

- a. All structures, including all building elevations, shall be constructed utilizing a complimentary unified design that is substantially consistent with the approved Exterior Elevation Plan (Exhibit E).
- b. All exterior elevations shall utilize a complimentary unified design as shown on the approved Exterior Elevation Plan (Exhibit E). At least two masonry materials shall be used in addition to glass on any single building. The following masonry materials shall be allowed:
 - i. Add Split Face CMU with integral color and painted CMU

8. VI. Specific Regulations: H. Screening:

- a. All truck docks/loading areas for anchor stores with a footprint greater than 30,000 square feet shall be screened from view through the use of 12-foot all masonry walls (which are the same colors and materials as main building). A masonry look precast concrete fence and wall system such as Fencetece[®], or approved, may be utilized. There should be a 12-foot masonry screening wall along the southern boundary with a 10-foot living screen landscape buffer. Additionally, there shall be an 8-foot masonry screening wall along the western boundary with a 15-foot living screen landscape buffer. ~~All other screening of the rear of the site shall be living screens (eight foot height and at least 75 percent density within four years of planting unless such areas are screened from public views by a building.~~

9. VI. Specific Regulations: J. Signage and Graphics

- a. (b) Shared Tenant Monument Signs-Three (3) monument signs shall be allowed located on Lot 2 (two for Lot 2 - Anchor Site) and Lot 3 (One for Lot 3 - Pad Site) and shall be limited to a maximum sign area of 40 square feet. This was two monument signs; requesting three.

10. VI. Specific Regulations: K. Open Space:

- a. It is recommended to remove the line in (1) All open space amenities shall use a unified design as shown on the approved Amenities Plan.

- b. However, staff does require that the developer establish amenity areas in more suitable areas such as along or near the public sidewalks. This will be further detailed at time of site plan review.

Concept Plan and Landscape Plan amendments

1. The applicant has submitted a revised concept plan for the SWC of McCreary and FM 544.
2. The proposed Concept Plan enlarges the building located south of the property. The Concept Plan also includes a fuel station and car wash on the north lot. Additionally, the Concept Plan shows a building with a drive through on the far west lot.
 - a. As stated in the Code of Ordinances, the Concept Plan is an aid to show anticipated layout of proposed development.
 - b. It should also be noted that majority of the western portion of the Concept Plan is within the floodplain. A flood study at the developer's expense will be completed before any grading improvements within the floodplain.
 - c. Prior to development, the applicant would be required to submit full site plan and construction plat details for review and consideration.
3. The applicant has submitted an amended Landscape Plan that follows the revised layout of the Concept Plan.
4. A public hearing notification for this proposed zoning change was published in the newspaper as well as notification mailed to the property owners included in the required 200 feet notification radius prior to the December 29, 2014 Public Hearing on this item.

Staff Recommendation

Staff recommends approval of the proposed amendments to Planned Development District No. 12-06-914 including Planned Development District Conditions, Concept Plan and Landscape Plan.

Attachments

Planned Development District Conditions – Exhibit B
Concept Site Plan amended – Exhibit C
Landscape Plan amended – Exhibit D
Current Ordinance No. 12-06-914

Planned Development Conditions

EXHIBIT B

AS AMENDED

McCreary Marketplace SW Corner of FM 544 and McCreary Road

PLANNED DEVELOPMENT CONDITIONS

- I. **Statement of Intent:** The intent of this Planned Development District is to provide high quality retail development that is generally consistent with the Comprehensive Plan.
- II. **Statement of Purpose:** The purpose of this Planned Development District is to ensure that any development that occurs within the area designated by this Planned Development encourage the following uses.
 - Larger anchor uses
 - Grocery Store
 - Family, sit-down restaurants
 - Upscale retail shops
 - Individual pad site uses
 - Other retail uses as outlined herein
- III. **Statement of Effect:** This Planned Development shall not affect any regulation found in the Comprehensive Zoning Ordinance, Ordinance No. 04-05-610, as amended, except as specifically provided herein.
- IV. **General Regulations:** All regulations of the R (Retail) District set forth in Section 29 of the Comprehensive Zoning Ordinance are included by reference and shall apply except as otherwise specified by this ordinance.
- V. **Development Plans:**
 - A. Concept Plan: Development shall be in general conformance with the approved concept plan set forth in Exhibit C; however, in the event of conflict between the concept plan and the conditions, the conditions shall prevail.
 - B. Landscape Plan: Development shall be in general conformance with the approved landscape plan set forth in Exhibit D; however, in the event of conflict between the landscape plan and the conditions, the conditions shall prevail.
 - C. Exterior Elevation Plan: Development shall be in general conformance with the approved exterior elevations as set forth in Exhibit E; **or as shown on the exterior color elevations submitted during site plan approval process.** However, in the event of conflict between the exterior elevations and the conditions, the conditions shall prevail.
 - D. Signage Plan: Development shall be in general conformance with the approved signage plan as set forth in Exhibit F; however, in the event of conflict between the signage plan and the conditions, the conditions shall prevail. **The Signage Plan may be amended and altered at the time of Site Plan approval to accommodate the anchor and pad sites.**
 - E. Concept Plan, Landscape Plan, Exterior Elevation Plan, and Signage Plan approval shall be for a period of one year from the date of City Council action on the plan. If within that one-year period a site plan has been submitted and approved for a portion of the development, then the Concept Plan shall be deemed

EXHIBIT B

Planned Development Conditions

Page 2

to have no expiration date. Site plans shall be valid for a period of one year from the date of City Council action on the plan. **This period shall be extended by an additional year with a request in writing to the City Manager.**

- F. Site Plan: A Site Plan shall be submitted in accordance with the Requirements set forth in Chapter 86, Article II, and Division 7 of the City of Murphy Code of Ordinances. The Site Plan may be for all or any part of the land within the Planned Development District.

VI. Specific Regulations:

A. Permitted Uses

1. Amusement Services (Indoors) (SUP)
2. Antique Shop
3. Art Dealer/Gallery
4. Artist Studio (SUP)
5. Bakery (Retail)
6. Book Store
7. Cafeteria
8. Computer Sales
9. Confectionery Store (Retail)
10. Department Store
11. Dinner Theatre (SUP Only)
12. Electronics (Retail)
13. Florist
14. Food or Grocery Store **with Fuel Center as accessory use**
15. Furniture Sales (Indoor)
16. Hardware Store
17. Home Improvement Center (SUP)
18. Motion Picture Theatre
19. Pet Shop/Supplies
20. Pharmacy(with Drive-thru)
21. Photo Studio
22. Photocopying /Duplicating
23. Restaurant **(with drive-thru; drive thru not allowed to face residential properties)**
24. Retail Store
25. Tailor Shop **or Dry Cleaners**
26. Theatre (Live Drama) (SUP)
27. Sporting Goods
28. Clothing / Home Goods
29. **Car Wash as accessory use to Fuel Center**

B. Area and Yard Regulations

1. Minimum Size of Lot/Tract: There shall be no minimum lot/tract area required.
2. Minimum Lot/Tract Width: Minimum frontage requirements for lots adjacent to either FM 544 or McCreary Road shall be **90'**.
3. Minimum Lot/Tract Depth: There shall be no minimum lot/tract depth required.

Planned Development Conditions

Page 3

4. Pad Sites: The maximum number of pad sites allowed along FM 544 shall be **three (3)**.

C. Parking, Driveways and Sidewalks:

1. Parking areas shall not be permitted within any landscape buffer strip.
2. Fire lanes, driveway, loading areas and access easements shall be paved in accordance with the minimum design standards of the City of Murphy codes and ordinances.
3. The number of required parking spaces shall be dependent upon the use and shall meet the requirements of the City of Murphy Comprehensive Zoning Ordinance.
4. No required parking space may be occupied by signs, merchandise, or display items at any time except by specific 30 day permit.
5. A special "signature" paving treatment shall be established as shown on the approved concept plan (Exhibit C). Appropriate locations for the special paving treatment shall include street intersections, pedestrian crosswalks and driveway openings.
6. Sidewalks along FM 544 and McCreary Road shall be 8 feet in width.

D. Loading and Unloading

1. Truck loading berths and apron space shall only be required for space that totals 30,000 square feet or more and shall not be located on the street side of any building or facing another building without adequate screening.
2. Truck loading berths shall not be located within any required setback or landscape buffer strip.
3. Landscaping is required in front of any loading dock facing public right of way, including the loading dock shown on Phase One development facing FM544.

E. Building Height

1. All structures shall have a maximum building height of thirty-five (35) feet except that the maximum height may be increased to forty-five (45) feet **for the anchor building or** to allow for architectural elements.

- #### F. Minimum Exterior Construction Standards, Building Materials and Design-
- Exterior Construction and Design Requirements shall comply with the standards set forth in Chapter 28, Code of Ordinances, except as provided below.

Planned Development Conditions

Page 4

1. All structures, including all building elevations, shall be constructed utilizing a complimentary unified design that is substantially consistent with the approved Exterior Elevation Plan (Exhibit E).
2. All exterior elevations shall utilize a complimentary unified design as shown on the approved Exterior Elevation Plan (Exhibit E). At least two masonry materials shall be used in addition to glass on any single building. The following masonry materials shall be allowed:
 - a. Brick
 - b. Cast Stone
 - c. Scored & Textured concrete tilt wall
 - d. EIFS and Stucco (limited to no more than 12% total)
 - e. Stone/simulated stone – per elevation
 - f. **Split Face CMU with integral color and painted CMU**
3. The use of primary or garish colors shall not be predominately used on the exterior façade of any structure. Corporate identities shall be allowed with owner review and approval.
4. Stand fans, skylights, cooling towers, communication towers, satellite dishes, vents, and any other structures or equipment, whether located on the roof or elsewhere, shall be architecturally compatible or effectively shielded from view from any immediately adjacent public dedicated street by an architecturally sound method.
5. Each commercial building, complex of buildings or separate commercial business enterprise shall have a trash bin on the premises adequate to handle the trash and waste items generated, manufactured, or acquired there on by such commercial activities. The sorting, handling, moving, storing, removing and disposing of all waste materials must be housed or screened from view.
6. In all cases, mechanical equipment on roofs and outcroppings shall be clad by a like building material or painted with a color scheme similar to the principal structure walls or roof.

G. Landscape Standards

Landscaping shall comply with the standards set forth in Chapter 28, Code of Ordinances, except as provided below.

1. Landscaping shall generally be as shown on the approved Landscape Plan (Exhibit D). Landscaping shall be required on all developments within the Planned Development District and shall be complete prior to the issuance of any certificate of occupancy for the specific development. An automatic underground irrigation system including freeze and rainwater sensor shall be installed and maintained for all required landscaping and shall be in place and operable at time of planting.
2. A landscape buffer shall be provided twenty-five (25) feet in depth adjacent to the right-of-way of FM 544, twenty-five (25) feet in depth adjacent to McCreary Road. No parking may be placed within any landscape buffer. Pedestrian easements and sidewalks may be located within a landscape buffer.

3. Parking Lots
 - a. A minimum percentage of the parking area shall be landscaped according to the following requirements. Such landscaping shall be distributed within the parking area, occurring within medians, islands, or peninsulas. All such landscape areas shall be protected by concrete curbing or other acceptable devices which prohibit vehicular access to landscaped areas. Bumper overhang shall not be included as part of required landscaping. A permeable area no less than six (6) feet by six (6) feet shall be provided surrounding each tree located in a surface parking area. Landscape islands within the parking lot shall be a minimum of 64 square feet.
 1. The traffic island shown on Phase One development shall be landscaped.
 2. Phase One construction is to include Open Space as noted in Phase Two.
 3. A total of seven (7) percent of the interior of the entire parking lot regardless of location, shall be landscaped. One large tree or three (3) ornamental trees from the Plant List, shall be provided for each twelve (12) parking spaces, and planted within the seven (7) percent area. Trees shall be distributed so that bays of parking spaces shall not exceed twenty (20) spaces in length.
 4. An additional 8% open space shall be provided. This 8% will be for the entire development and not necessarily on a lot by lot basis. The 8% area will consist of two or more of the following amenities:
 - a. Pedestrian walkways
 - b. Benches
 - c. Gazebo
 - d. Constant level pool
 - e. Landscape material
 - f. Hardscape
 - g. Pedestrian lighting

H. Screening

Screening shall comply with the standards set forth in Chapter 28, Code of Ordinances, except as provided below.

1. All screening at the rear (South & West) of the property will be a live screen where required. Plant materials shall conform to the standards of the approved plant list in Section 50 and the current edition of the "American Standard for Nursery Stock" (as amended), published by the American Association of Nurserymen.
2. a. All truck docks/loading areas for anchor stores with a footprint greater than 30,000 square feet shall be screened from view through the use of 12-foot all masonry walls (which are the same colors and materials as main building). A masonry look precast concrete fence and wall system such as Fencrete®, or approved, may be utilized. There should be a 12-foot masonry screening wall along the southern boundary with a 10-foot living screen landscape buffer. Additionally, there shall be an 8-foot masonry screening wall along the western boundary with a 15-foot living screen landscape buffer.

Planned Development Conditions

Page 6

3. Outside seasonal displays shall be permitted within the Planned Development District for no more than 30 days. Outside storage shall not be permitted with the Planned Development District.

I. Site Lighting:

Lighting shall comply with the standards set forth in Chapter 28, Code of Ordinances, except as provided below.

1. Site lighting fixtures used along entrance driveways and parking areas shall be uniform and a consistent design within the development. Lighting standards for illuminating these areas shall be no taller than 30 ft. high. However, the height of all light standards shall be subject to review of the lighting plan during the Site Plan review.

J. Signage and Graphics

Signage will comply with the standards set forth in Chapter 28, Code of Ordinances, except as provided below. No electronic signs are allowed in Planned Development District.

Signature Sign: Developer shall construct a signature sign depicting “City of Murphy” at the intersection of McCreary Road and FM 544 immediately adjacent (behind) the 50x50 visibility triangle. The signature entrance/ development sign must be 2 or 3 dimensional and conceptually similar to the signature sign located on the north west corner of FM 544 and North Murphy Road in Murphy. The developer shall submit the signature signage plans to the City for approval prior to construction.

1. General

- a. All signage for the Planned Development District shall be allowed as shown on the approved Signage Plan (Exhibit F).
- b. Shared Tenant Monument Signs-**Three (3)** monument signs shall be allowed located on Lot 2 (**two for Lot 2 - Anchor Site**) and Lot 3 (**One for Lot 3 - Pad Site**) and shall be limited to a maximum sign area of 40 square feet.
- c. Shopping center signs-One (1) shopping center sign shall be permitted as shown on the approved Signage Plan (Exhibit F). The shopping center sign shall be limited to a maximum sign area of 240 square feet.
- d. All signs must be surrounded by landscaping.
- e. No signs shall be phased.

2. Shared Tenant Monument Signs

- a. Monument signs shall identify individual tenants or uses within the shopping center. Monument signs shall be a maximum of eight (8) feet tall.

Planned Development Conditions

Page 7

- b. All shared tenant monument signs shall be double-sided, internally illuminated sign panels within a masonry structure. Shared tenant monument signage may also be lit by ground mounted flood lighting or internal letter illumination either face lit or reverse channel lit.
- c. Monument signs shall be located at a setback distance of not less than five (5) feet from the right-of-way line of any adjacent street and maybe incorporated within the landscaping area or buffer.
- d. Construction of monument signs shall include a base of material similar to the material used for buildings.

3. Shopping Center Sign

- a. The shopping center sign shall be constructed at a height not to exceed thirty-five (35) feet upon approval of a building permit of an anchor tenant.
- b. The base of the shopping center sign shall be located at a setback distance of not less than eight (8) feet from the right-of-way line of any adjacent street and may be incorporated within the landscaping area or buffer.
- c. The shopping center sign shall be double-sided, internally illuminated sign panels within a masonry structure. Pylon signs may also be lit by ground mounted flood lighting or internal letter illumination either face lit or reverse channel lit.
- d. Construction of shopping center signs shall include a base of material similar to the material used for buildings.

4. Temporary Marketing Signage

- a. One (1) quality temporary marketing sign shall be permitted on the development on McCreary Road and on FM 544. Temporary signs must be approved by the City Manager or designee and are valid for 180 days.
- b. The maximum signage area will be 64 square feet. The maximum height shall be 8 feet.
- c. All other temporary signage specifically referred to in the Signage Criteria package or in this section shall comply with the City of Murphy standards.
- d. Temporary signs are not required to be constructed of the material used for buildings.

K. Open Space

- 1. *Remove: All open space amenities shall use a unified design as shown on the approved Amenities Plan.* Development with the Planned Development District should make a positive impact to the City by providing defined public spaces and activity centers so that varied activities are encouraged

within these areas. This can be accomplished through the incorporation of open spaces that become public amenities and that provide interest within the Tract at the pedestrian level. All pedestrian areas and open space must be located away from vehicular traffic areas as reflected on the concept plan attached.

- a. Outdoor Seating. Any establishment serving food for consumption on-premises is encouraged to provide an outdoor seating area and shall be approved with the site plan.
- b. An additional 8% of open space is required in addition to the landscape, setback, and parking lot island requirements. The additional 8% may be located adjacent to the required setbacks or landscaping at the ROW and property lines or in front or in some cases to the side of the structure. The additional open space percentage may not include the building footprint or vehicular parking lot. This area and associated amenities shall be approved on the site plan. At least one of the following amenities shall be located within the additional 5% open space area and count towards the required percentage.
 1. Water feature, such as a fountain or detention pond with constant water level.
 2. Plaza or courtyard with art sculpture piece.
 3. Outdoor patio or gazebo with seating area.
 4. Other areas for pedestrian congregation, and may be approved on the site plan.

VII. Special Regulations:

- A. Right Turn Deceleration Lanes: A right turn deceleration lane shall be required for the driveway on FM 544 at the time construction begins on any pad site along FM 544 and paid for by the developer and/or property owner. A right turn deceleration lane shall be required for the middle driveway on McCreary Road at the time construction begins on the anchor tenant.
- B. Utility Power Lines: Utility distribution and service lines for individual business establishments, buildings, and signs and for any other site development features shall be placed underground.
- C. Cross-Access Requirement: A joint access (i.e.-ingress, egress) easement shall be provided to minimize the number of driveway openings along FM 544 and McCreary Road. The location(s) of access easement(s) shall be shown on the site plan and shall comply with the Texas Department of Transportation (TxDOT) Access Management Standards. Access shall be provided for property to the West of this site for future connectivity.
- D. Outside storage shall not be permitted with the Planned Development District.

Planned Development Conditions

Page 9

- E. Outside display of merchandise and temporary seasonal items: Outside display of merchandise and temporary seasonal items, such as Christmas trees, pumpkins, etc., shall be limited to the following:
1. Shall not be placed/located more than 30 feet from the main building.
 2. Shall not occupy any of the parking spaces that are required by this chapter for the primary use of the property, except on a temporary basis only, which is a maximum of 30 days per display and a maximum of two displays per calendar year.
 3. Shall not pose a safety or visibility hazard, nor impede public vehicular or pedestrian circulation, either on site or off site, in any way.
 4. Shall not extend into public right-of-way or onto adjacent property.
 5. All outside display items shall be removed at the end of business each day, except for large seasonal items such as Christmas trees.
 6. All merchandise shall be displayed in a neat, orderly manner, and the display area shall be maintained in a clean, litter-free manner.
- F. Maintenance: The developer and/or property owner of any part of the Planned Development District shall maintain the property in terms of quality landscape maintenance, trash removal, interior and exterior sign conditions, trash receptacles and other amenities to ensure a consistent high quality development.

FRANCHISE UTILITY NOTES:
 1. ONCOR ELECTRIC - (803) 888-8242 - MR. MARK BAILEY
 2. ATMOS ENERGY (GAS) - (214) 733-8122 - MR. DAVID COKER
 3. TIME WARNER CABLE - (972) 742-5892
 4. AT&T TELEPHONE - (972) 569-4760 - MR. KEITH HELM

CAUTION!!!
 UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG.
 TEXAS EXCAVATION SAFETY SYSTEM (TESS) 1-800-344-8377
 TEXAS ONE CALL SYSTEMS 1-800-245-4545
 LONE STAR NOTIFICATION CENTER 1-800-669-8344 EXT. 5



BEFORE YOU DIG...

BENCHMARK LIST:
 BENCHMARK #1
 SQUARE CUT ON CURB INLET SOUTH SIDE OF FM 544 (KIRBY STREET), 100.54 FEET EAST OF THE EAST CURB LINE OF MCCREARY ROAD. ELEVATION = 545.13
 BENCHMARK #2
 SQUARE CUT ON TOP OF CURB LOCATED ON NORTH SIDE OF SIDEWALK RAMP NEAR THE SOUTH ENTRANCE TO CVS LOT. ELEVATION = 542.52

THE SUBJECT PROPERTY IS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR COLLIN COUNTY, TEXAS AND INCORPORATED AREAS COMMUNITY PANEL NUMBER 48085004151, DATED JUNE 02, 2009. ALL OF THE SUBJECT PROPERTY IS INDICATED TO BE IN ZONE 'X' ON SAID MAP. RELEVANT ZONES ARE DEFINED ON SAID MAP AS FOLLOWS:
 ZONE 'AE' - BASE FLOOD ELEVATIONS DETERMINED.
 ZONE 'X' - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

NOTE:
 1. LOTS 1 & 3 SHALL PROVIDE UNDERGROUND DETENTION UPON DEVELOPMENT OF THE RESPECTIVE LOT.
 2. LOT 2 SHALL PROVIDE CONVENTIONAL AND/OR UNDERGROUND DETENTION UPON DEVELOPMENT AS REQUIRED.

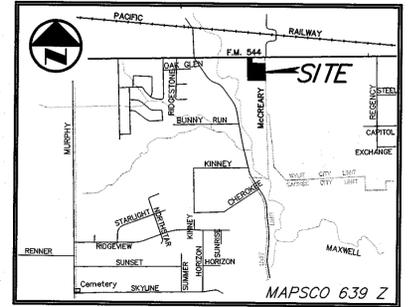
PORTIONS OF THE PROPOSED DEVELOPMENT LOCATED WITHIN THE EXISTING FLOOD PLAIN WILL BE REQUIRED TO BE ELEVATED OUT OF THE FLOODPLAIN AS REQUIRED.

PROPOSED 8' MASONRY SCREENING WALL ADJACENT TO RESIDENTIAL ZONING WITH 10' BUFFER YARD

PROPOSED RIGHT TURN LANE, TXDOT APPROVAL REQUIRED.

PROPOSED CROSS ACCESS DRIVE WITH TEMPORARY BARRICADE

PROPOSED ACCESS DRIVE AND MEDIAN OPENING, TXDOT APPROVAL REQUIRED.



VICINITY MAP NOT TO SCALE



GRAPHIC SCALE IN FEET
 SCALE: 1" = 50'

LEGEND

- BOLLARD
- ELECTRIC METER
- POWER POLE
- LIGHT STANDARD
- WATER METER
- WATER VALVE
- IRRIGATION CONTROL VALVE
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- CLEAN OUT
- MANHOLE
- GAS METER
- TRAFFIC SIGNAL CONTROL
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGN
- TELEPHONE BOX
- TV BOX
- FLAG POLE
- LANDSCAPE AREA
- PROPERTY LINE
- O.H. POWER LINES
- U/G TELEPHONE LINES
- U/G WATER LINE
- U/G GAS LINE
- FENCE
- (C.M.) CONTROLLING MONUMENT 5/8-INCH IRON ROD WITH "POGUE ENG & DEV" CAP SET
- SIR

PAVEMENT LEGEND

- FIRE LANE PAVEMENT
- SIDEWALK PAVEMENT
- ENHANCED PAVEMENT

SITE DATA SUMMARY TABLE

EXISTING ZONING: PD ORDINANCE NO. 12-06-914 (PLANNED DEVELOPMENT DISTRICT FOR RETAIL USES) & SF-1

PROPOSED ZONING: PD (PLANNED DEVELOPMENT DISTRICT FOR RETAIL USES) WITH MODIFICATIONS

LOT NO.	1	2	3	TOTAL
SITE AREA (SF)	72,167	635,995	48,029	756,191
SITE AREA (ACRES)	1.6567	14.6004	1.1026	17.3598
USE	RETAIL	RETAIL	RETAIL	RETAIL
BUILDING AREA (SF)	12,900	99,804	9,300	122,004
COVERAGE (%)	18%	16%	19%	16%
PARKING REQUIREMENT (SPEC)	1 SPACE/200 SF	1 SPACE/200 SF	1 SPACE/200 SF	1 SPACE/200 SF
PARKING REQUIREMENT (SPACES)	65	500	47	612
PARKING PROVIDED (SPACES)	69	632	47	748
MAXIMUM BUILDING HEIGHT (FEET)	45	45	45	45
MAXIMUM FLOOR AREA RATIO (F.A.R.)	0.18	0.16	0.19	0.19
IMPERVIOUS SURFACE (SF)	52,751	513,614	36,781	603,146
INTERIOR LANDSCAPE REQUIRED, 7% (SF)	2,790	28,967	1,924	33,680
INTERIOR LANDSCAPE PROVIDED (SF)	19,418	55,776	7,474	82,668
OPEN SPACE REQUIRED, 8% (SF)	5,773	50,880	3,842	60,495
OPEN SPACE PROVIDED (SF)	0	62,872	2,490	65,361

NO.	DATE	REVISION / DESCRIPTION
DESIGN	WTW	12-11-2014
RPP		1597-14-057

PROJECT INFORMATION
 MCCREARY MARKETPLACE
 BLOCK A, LOTS 1, 2, 3 & 4
 CITY OF MURPHY, TEXAS
 HENRY MAXWELL SURVEY, ABSTRAT NO. 579
 PROPOSED USE: RETAIL (GROCER & PAD SITES)
 ZONING: PD (RETAIL)

DEVELOPER
 POGUE ENGINEERING & DEVELOPMENT COMPANY, INC.
 1512 BRAY CENTRAL DRIVE, SUITE 100
 MCKINNEY, TEXAS 75069
 RANDALL P. POGUE, P.E.
 (214) 544-8880 PHONE
 (214) 544-8882 FAX

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF RANDALL P. POGUE, P.E. 84782 ON 12-11-2014. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

PRELIMINARY
 FOR INTERIM REVIEW ONLY
 NOT TO BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.
 Engineer: RANDALL P. POGUE, P.E.
 P.E. No.: 84782
 Date: 12-11-2014

POGUE
 ENGINEERING & DEVELOPMENT COMPANY, INC.
 1512 BRAY CENTRAL DRIVE SUITE 100 MCKINNEY, TEXAS 75069
 (214) 544-8880 PHONE (214) 544-8882 FAX
 www.PogueEngineering.com
 TX BOARD PROF. ENGINEERS, CERT. #000481; TX BOARD PROF. LAND SURVEYING, CERT. 100421-00

DEVELOPMENT SITE PLAN
 MCCREARY MARKETPLACE
 BLOCK A, LOTS 2, 3 & 4
 HENRY MAXWELL SURVEY, ABSTRAT NO. 579
 CITY OF MURPHY, TEXAS

SHEET NO.
C1.01

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TREE #	SIZE	TREE SPECIES
317	18"	MAPLE
318	24"	BRADFORD PEAR
319	24"	MAPLE
320	32"	MAPLE
321	16"	MAPLE
322	16"	MAPLE
323	32"	BRADFORD PEAR
324	18"	LIVE OAK
325	24"	BRADFORD PEAR
326	36"	MAPLE
327	10"	HACKBERRY
328	8"	HACKBERRY
329	12"	OAK
330	12"	OAK
331	24"	OAK
332	24"	HACKBERRY
333	24"	HACKBERRY
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337	24"	HACKBERRY
338	24"	HACKBERRY
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340	24"	HACKBERRY
341	32"	OAK
342	24"	OAK
343	24"	HACKBERRY
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UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG:
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TEXAS ONE CALL SYSTEMS 1-800-245-4545
LONE STAR NOTIFICATION CENTER 1-800-669-8344 EXT. 5



BEFORE YOU DIG...

BENCH MARK LIST:
BENCHMARK #1
SQUARE CUT ON CURB INLET SOUTH SIDE OF FM 544 (KIRBY STREET), 108.58 FEET EAST OF THE EAST CURB LINE OF MCCREARY ROAD. ELEVATION = 545.13
BENCHMARK #2
SQUARE CUT ON TOP OF CURB LOCATED ON NORTH SIDE OF SIDEWALK RAMP NEAR THE SOUTH ENTRANCE TO CVS LOT. ELEVATION = 542.52

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3. TIME WARNER CABLE - (972) 742-5892
4. AT&T TELEPHONE - (972) 569-4760 - MR. KEITH HELM



- LANDSCAPE NOTES**
- Contractor shall verify all existing and proposed site elements and notify Architect/Engineer of any discrepancies. Survey data of existing conditions was supplied by others.
 - Contractor shall locate all existing underground utilities and notify Architect/Engineer of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
 - Contractor is responsible for obtaining all required landscape and irrigation permits.
 - Contractor to provide a minimum 2% slope away from all structures.
 - All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
 - All landscape areas to be 100% irrigated with an underground automatic irrigation system.
 - All lawn areas to be Hydromulch Bermuda grass, unless otherwise noted on the drawings.

- HYDROMULCH NOTES**
- All lawn areas to be Hydromulch Bermuda grass, unless noted otherwise on drawings.
- Contractor shall scarify, rip, and loosen all areas to be hydromulched to a minimum depth of 4" prior to topsoil and hydromulch installation.
- Bermuda grass seed shall be extra hulled and treated lawn type and shall be delivered to the site in its original unopened container, and shall meet Texas State Law requirements.
- Fiber: Shall be one hundred percent (100%) Wood Cellulose Fiber, delivered to the site in its original unopened container. "Conwee" or equal.
- Fiber Tack: Shall be delivered to the site in its original unopened container, and shall be "Terra-Tack one", as manufactured by Growers, Inc., or equal.
- Hydromulch with Bermuda grass seed at a rate of two (2) pound per one thousand (1000) square foot.
- Use a 4' x 8' batter board against all bed areas.
- If installation occurs between September 1 and April 1, all hydromulch areas to be Winter Rye grass, at a rate of four (4) pounds per one thousand (1000) square feet. Contractor shall be required to re-hydromulch with Bermuda grass the following growing season.
- All lawn areas to be hydromulched, shall have one hundred percent (100%) coverage prior to final acceptance.
- Contractor shall maintain all lawn areas until final acceptance. This shall include but not be limited to: mowing, watering, weeding, cultivating, cleaning, and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
- Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply as necessary.

- MAINTENANCE NOTES**
- The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
 - All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
 - All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
 - All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
 - All plant material which dies shall be replaced with plant material of equal or better value.
 - Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

LEGEND

B	BOLLARD
EM	ELECTRIC METER
PP	POWER POLE
LS	LIGHT STANDARD
WM	WATER METER
WV	WATER VALVE
ICV	IRRIGATION CONTROL VALVE
PH	FIRE HYDRANT
FDC	FIRE DEPARTMENT CONNECTION
CO	CLEAN OUT
MH	MANHOLE
GM	GAS METER
TSC	TRAFFIC SIGNAL CONTROL
TSP	TRAFFIC SIGNAL POLE
SKN	TRAFFIC SIGN
TELE	TELEPHONE BOX
TV	TV BOX
FP	FLAG POLE
---	PROPERTY LINE
OHL	O.H. POWER LINES
U/G	U/G TELEPHONE LINES
WATER	U/G WATER LINE
GAS	U/G GAS LINE
X	FENCE

PLANT LEGEND

QUANTITY	PLANT TYPE
CM	CREPE MYRTLE
BC	BALD CYPRRESS
RO	SHUMARD RED OAK
LO	LIVE OAK
CE	CEDAR ELM
MAP	BIG TOOTH MAPLE
RB	RED BUD, PANSY

CITY OF MURPHY LANDSCAPE REQUIREMENTS

LOT NO.	1	2	3
SITE AREA (SF)	72,167	635,995	48,029
SITE AREA (ACRES)	1.6567	14.6004	1.1026
MINIMUM LANDSCAPE AREA REQUIRED (20%)	14,433	127,199	9,606
LANDSCAPE AREA PROVIDED (SF)	19,416	122,381	11,248
LANDSCAPE SETBACKS			
BUFFER YARD ALONG TYPE 'B' ARTERIAL	25	25	25
SIDE YARD SETBACK WITH EVERGREEN HEDGE	5	5	5
STREET TREE REQUIREMENT (FRONTAGE)	1 TREE / 50 LF	1 TREE / 50 LF	1 TREE / 50 LF
STREET FRONTAGE (FT)	598.34	1050.06	92.22
STREET TREES REQUIRED	12	21	2
STREET TREES PROVIDED	12	21	2
INTERIOR PARKING LANDSCAPE REQUIRED	1 TREE / 10 SPCS	1 TREE / 10 SPCS	1 TREE / 10 SPCS
INTERIOR PARKING TREES REQUIRED	7	63	5
INTERIOR PARKING TREES PROVIDED	8	74	7
LANDSCAPE AREA W/TREE NOT MORE THAN 60 LF FROM EVERY PARKING SPACES SHALL NOT EXCEED 20 SPACES WITHOUT A TREE			
ADDITIONAL LANDSCAPE REQUIREMENTS			
5% INTERIOR LANDSCAPING REQUIRED			
ADDITIONAL 7% OPEN SPACE FOR ENTIRE DEVELOPMENT REQUIRED			
BAY DOORS MUST BE SCREENED FROM PUBLIC R.O.W.			

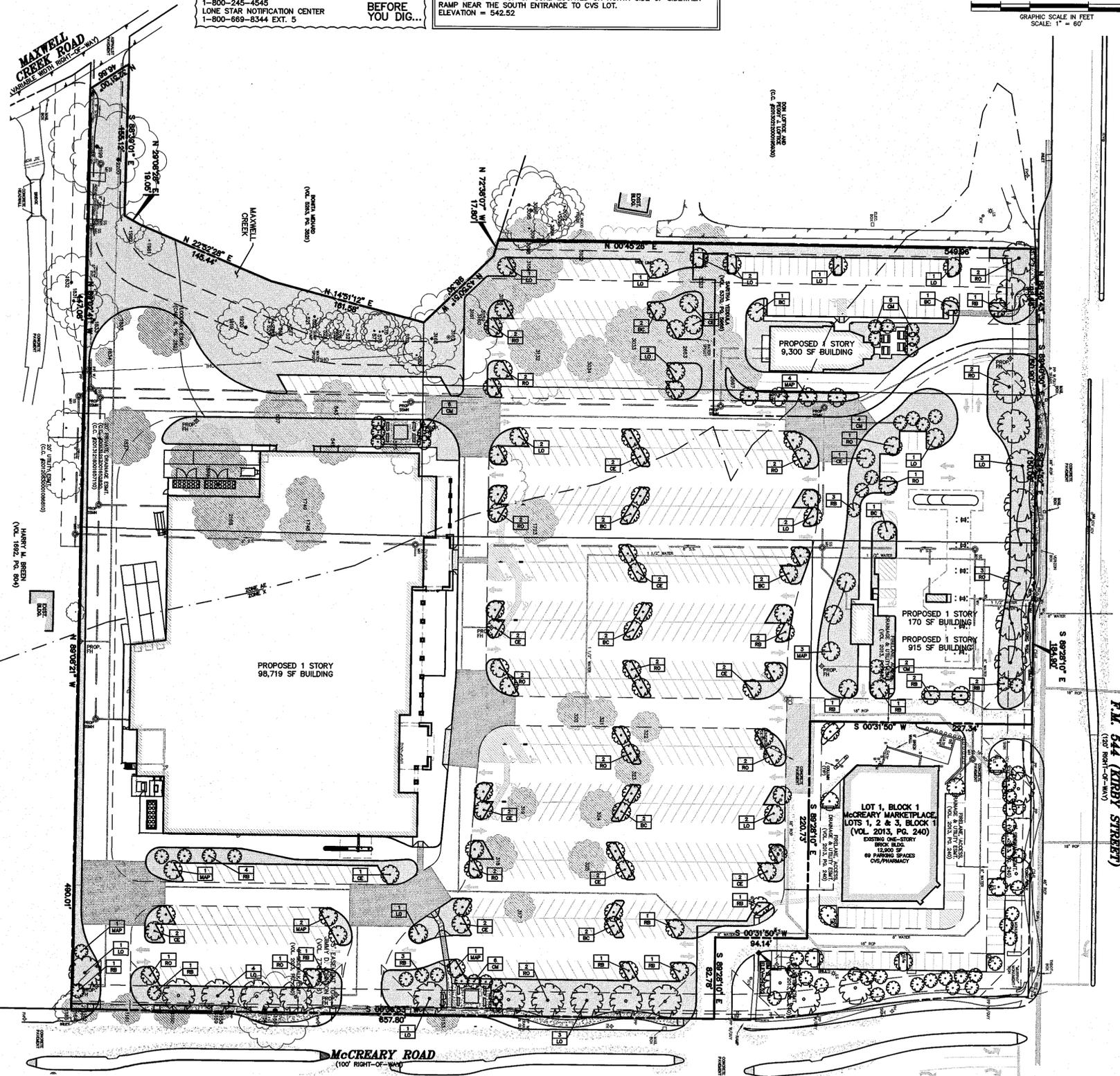


EXHIBIT D

NO.	DATE	REVISION / DESCRIPTION
DESIGN	DRAWN	DATE
RPP	WTW	11-19-2014

PROJECT INFORMATION
McCREARY MARKETPLACE
BLOCK A, LOTS 2, 3 & 4
CITY OF MURPHY, TEXAS
HENRY MAXWELL SURVEY, ABSTRAT NO. 579
PROPOSED USE: RETAIL (GROCER & PAD SITES)
ZONING: PD (RETAIL)

DEVELOPER
POGUE ENGINEERING & DEVELOPMENT COMPANY, INC.
1512 BRAY CENTRAL DRIVE, SUITE 100
MCKINNEY, TEXAS 75069
RANDALL P. POGUE, P.E.
(214) 544-8880 PHONE
(214) 544-8882 FAX

POGUE
ENGINEERING & DEVELOPMENT COMPANY, INC.
1512 BRAY CENTRAL DRIVE SUITE 100
MCKINNEY, TEXAS 75069
TX BOARD PROF. ENGINEERS, CERT. #F-000481; TX BOARD PROF. LAND SURVEYING, CERT. 100421-00
(214) 544-8880 PHONE
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LANDSCAPE PLAN
McCREARY MARKETPLACE
BLOCK A, LOTS 2, 3 & 4
HENRY MAXWELL SURVEY, ABSTRAT NO. 579
CITY OF MURPHY, TEXAS

SHEET NO.
L1.01

MCCREARY MARKETPLACE

ORDINANCE NO. 12-06-914

AN ORDINANCE OF THE CITY OF MURPHY, COLLIN COUNTY, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND MAP, CHAPTER 86, OF THE CITY OF MURPHY CODE OF ORDINANCES, AS AMENDED, BY CHANGING THE ZONING CLASSIFICATION ON APPROXIMATELY 11 ACRES OF LAND SITUATED IN THE HENRY MAXWELL SURVEY, ABSTRACT NO. 579, LOCATED IN THE CITY OF MURPHY, COLLIN COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED ON EXHIBIT "A" ATTACHED HERETO AND INCORPORATED HEREIN BY REFERENCE FOR ALL PURPOSES, FROM ITS PRESENT CLASSIFICATION BEING SINGLE FAMILY RESIDENTIAL DISTRICT TO PLANNED DEVELOPMENT DISTRICT FOR RETAIL USES; APPROVING PLANNED DEVELOPMENT CONDITIONS AND STANDARDS ATTACHED HERETO AS EXHIBIT "B", APPROVING A CONCEPT PLAN ATTACHED HERETO AS EXHIBIT "C", APPROVING A LANDSCAPE PLAN ATTACHED HERETO AS EXHIBIT "D", APPROVING AN EXTERIOR ELEVATION PLAN ATTACHED HERETO AS EXHIBIT "E", AND APPROVING A SIGNAGE PLAN ATTACHED HERETO AS EXHIBIT "F"; PROVIDING A CUMULATIVE/ REPEALER CLAUSE, A SEVERABILITY CLAUSE, A PENALTY CLAUSE, A SAVINGS CLAUSE, AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the landowners of approximately 11 acres of land situated in the Henry Maxwell Survey, Abstract No. 579, located in the City of Murphy, Collin County, Texas, have requested a change in the zoning for the property described in this ordinance from SFR (Single Family Residential) to PD (Planned Development) District for Retail Uses with the intent to provide high quality retail development consistent with the Comprehensive Plan and for the purpose of developing the property for retail uses as outlined in the Development Conditions and Standards for this planned development district; and

WHEREAS, the Planning and Zoning Commission and the City Council of the City of Murphy, in compliance with the laws of the State of Texas, have given the requisite notices by publication and otherwise, and have held due hearings and afforded full and fair hearings to all property owners generally and to all persons interested in this regard; and

WHEREAS, the Planning and Zoning Commission and the City Council of the City of Murphy, in considering the application for a change in zoning of the property to a planned development district, have determined that the proposed use and development is consistent and compatible with the goals and objectives of the City of Murphy and is in the best interest of the health, safety, morals and general welfare of the City of Murphy, and, accordingly, the City Council of the City of Murphy is of the opinion and finds that said zoning change is in the public interest and should be granted and that the Comprehensive Zoning Ordinance should be amended accordingly as set forth herein.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MURPHY, TEXAS, AS FOLLOWS:

Section 1. That all the above premises are found to be true and correct and are incorporated into the body of this ordinance as if fully set forth herein.

Section 2. That the Comprehensive Zoning Ordinance and Map of the City of Murphy, Texas, be, and the same are hereby amended so as to change the zoning (designation) from SFR (Single Family Residential) to PD (Planned Development) District for Retail Uses for the property, being an approximately 11 acre tract of land situated in the Henry Maxwell Survey, Abstract No. 579, in the City of Murphy, Collin County, Texas, and more particularly described in Exhibit "A", attached hereto and incorporated herein by reference.

Section 3. That the Development Conditions and Standards for this planned development district are attached hereto as Exhibit "B" and incorporated herein by reference, and the same are hereby approved by the City Council for said planned development district as required by Section 86-603, of the City of Murphy, Texas, Code of Ordinances.

Section 4. That the Concept Plan, Landscape Plan, Exterior Elevation Plan, and Signage Plan for this planned development district are attached hereto as Exhibits "C", "D", "E", and "F"

respectively, and the same are hereby incorporated herein by reference and approved for said planned development district as required by Section 86-604, of the City of Murphy, Texas, Code of Ordinances.

Section 5. That Chapter 86 of the City of Murphy Code of Ordinances, as amended, shall be and remain in full force and effect save and except as amended by this ordinance, and that said property shall in all other respects be subject to all applicable regulations of the City of Murphy.

Section 6. Cumulative/Repealer Clause. This ordinance shall be cumulative of all provisions of State or Federal law and other ordinances of the City of Murphy, Texas, except where the provisions of this ordinance are in direct conflict with the provisions of such other ordinances, in which event the conflicting provisions of such ordinances are hereby repealed to the extent of such conflict.

Section 7. Severability Clause. If any word, section, article, phrase, paragraph, sentence, clause or portion of this ordinance is held to be invalid or unconstitutional by a court of competent jurisdiction, such holding shall not affect for any reason, the validity of the remaining portions of this ordinance or the Comprehensive Zoning Ordinance, Chapter 86 of the City of Murphy Code of Ordinances, and the remaining portions shall remain in full force and effect.

Section 8. Penalty Clause. Any person, firm or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and, upon conviction, in the municipal court of the City of Murphy, Texas, shall be punished by a fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense, and each and every day any such violation shall continue shall be deemed to constitute a separate offense.

Section 9. Savings Clause. That an offence committed before the effective date of this ordinance is governed by the prior law and the provisions of the Code of Ordinances, as amended, in effect when the offence was committed and the former law is continued in effect for this purpose.

Section 10. Effective Date. This ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and City Charter in such cases provide.

PASSED, APPROVED AND ADOPTED by the City Council of the City of Murphy, Texas, on this 5th day of June, 2012.



Bret M. Baldwin, Mayor
City of Murphy

ATTEST:



Aimee Nemer, City Secretary
City of Murphy



APPROVED AS TO FORM:

Wm. Andrew Messer, City Attorney
City of Murphy

Exhibit A
Legal Description

OWNERS CERTIFICATE

STATE OF TEXAS §
COUNTY OF COLLIN §

WHEREAS, We, CVS Pharmacy, Inc. and Hellen R. Pickard, are the sole owners of a tract of land situated in the HENRY MAXWELL SURVEY, ABSTRACT No. 579, City of Murphy, Collin County, Texas, and being a portion of the tract of land described in deed to Hellen Pickard as recorded in County Clerk's file No. 96-0043722, Land Records, Collin County, Texas, and also being all of a tract of land described in deed to CVS Pharmacy, Inc. as recorded in County Clerk's Instrument No. 20111227001390000, Real Property Records, Collin County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod with plastic cap stamped "WAI" set for corner, at the intersection of the south line of a right-of-way dedication, as described under Cause No. 001-1218-99, styled Collin County VS. Helen Pickard, Ricky L. Pickard and Great Western Mortgage Corporation and the west line of a right-of-way dedication as described in Document No. 20080801000933770, Real Property Records, Collin County, Texas, said 1/2 inch iron rod also being the intersection of the south right-of-way line of F.M. 544 (Kirby Street, 120' right-of-way at this point) and the west right-of-way line of McCreary Road (100' right-of-way);

THENCE South 00 deg 38 min 00 sec West, departing the south right-of-way line of said F.M. 544 and along the west right-of-way line of McCreary Road (as described in Document No. 20080801000933770), a distance of 19.97 feet to a 1/2 inch iron rod with plastic cap stamped "WAI" set for corner and the beginning of a curve to the left having a radius of 878.00 feet, a central angle of 10 deg 21 min 08 sec and a chord bearing and distance of South 04 deg 34 min 47 sec East, 158.42 feet;

THENCE continuing along said right-of-way line and said curve to the left, an arc distance of 158.64 feet to a 1/2 inch iron rod with plastic cap stamped "WAI" set for corner and the beginning of a curve to the right, having a radius of 790.00 feet, a central angle of 10 deg 22 min 13 sec and a chord bearing and distance of South 04 deg 34 min 14 sec East, 142.79 feet;

THENCE continuing along said right-of-way line and said curve to the right, an arc distance of 142.99 feet to a 1/2 inch iron rod with plastic cap stamped "WAI" set for corner at the end of the aforementioned right-of-way dedication;

THENCE South 00 deg 36 min 53 sec West, along the west right-of-way line of said McCreary Road, a distance of 659.28 feet to a 1/2 inch iron rod with plastic cap stamped "WAI" set for corner;

THENCE North 89 deg 08 min 21 sec West, departing the west right-of-way line of said McCreary Road, a distance of 490.01 feet to a 3/8 inch iron rod found for corner, and being the southwest corner of said Hellen Pickard tract;

THENCE North 01 deg 12 min 36 sec East, a distance of 342.63 feet to a 1/2 inch iron rod with plastic cap stamped "WAI" set for corner;

THENCE North 00 deg 23 min 41 sec East, a distance of 633.85 feet to a 1/2 inch iron rod with plastic cap stamped "WAI" set for corner in the south right-of-way line of FM Highway 544 (120' right-of-way at this point);

THENCE South 89 deg 28 min 10 sec East, along the south right-of-way line of said FM Highway 544, a distance of 461.64 feet to the POINT OF BEGINNING.

CONTAINING within these metes and bounds 472,365 square feet or 10.844 acres of land, more or less. Bearings contained herein are based upon an on the ground survey performed in the field on the 5th day of July, 2011 utilizing a GPS (WGS 84) bearing of North 89 deg 08 min 21 sec West (Deed South 89 deg 45 min 14 sec East) along the south line of a tract of land described in deed to Hellen Pickard recorded in Document No. 96-0043722, Real Property Records, Collin County, Texas.

Exhibit B
Development Conditions and Standards

EXHIBIT B

ZONING FILE NO. 2012-01

McCreary Marketplace
SW Corner of FM 544 and McCreary Road

PLANNED DEVELOPMENT CONDITIONS

- I. **Statement of Intent:** The intent of this Planned Development District is to provide high quality retail development that is generally consistent with the Comprehensive Plan.
- II. **Statement of Purpose:** The purpose of this Planned Development District is to ensure that any development that occurs within the area designated by this Planned Development encourage the following uses.
 - Larger anchor uses
 - Grocery Store
 - Family, sit-down restaurants
 - Upscale retail shops
 - Individual pad site uses
 - Other retail uses as outlined herein
- III. **Statement of Effect:** This Planned Development shall not affect any regulation found in the Comprehensive Zoning Ordinance, Ordinance No. 04-05-610, as amended, except as specifically provided herein.
- IV. **General Regulations:** All regulations of the R (Retail) District set forth in Section 29 of the Comprehensive Zoning Ordinance are included by reference and shall apply except as otherwise specified by this ordinance.
- V. **Development Plans:**
 - A. **Concept Plan:** Development shall be in general conformance with the approved concept plan set forth in Exhibit C; however, in the event of conflict between the concept plan and the conditions, the conditions shall prevail.
 - B. **Landscape Plan:** Development shall be in general conformance with the approved landscape plan set forth in Exhibit D; however, in the event of conflict between the landscape plan and the conditions, the conditions shall prevail.
 - C. **Exterior Elevation Plan:** Development shall be in general conformance with the approved exterior elevations as set forth in Exhibit E; however, in the event of conflict between the exterior elevations and the conditions, the conditions shall prevail.
 - D. **Signage Plan:** Development shall be in general conformance with the approved signage plan as set forth in Exhibit F; however, in the event of conflict between the signage plan and the conditions, the conditions shall prevail.
 - E. Concept Plan, Landscape Plan, Exterior Elevation Plan, and Signage Plan approval shall be for a period of one year from the date of City Council action on the plan. If within that one-year period a site plan has been submitted and approved for a portion of the development, then the Concept Plan shall be deemed

to have no expiration date. Site plans shall be valid for a period of one year from the date of City Council action on the plan.

- F. Site Plan: A Site Plan shall be submitted in accordance with the Requirements set forth in Chapter 86, Article II, and Division 7 of the City of Murphy Code of Ordinances. The Site Plan may be for all or any part of the land within the Planned Development District.

VI. Specific Regulations:

A. Permitted Uses

1. Amusement Services (Indoors) (SUP)
2. Antique Shop
3. Art Dealer/Gallery
4. Artist Studio (SUP)
5. Bakery (Retail)
6. Book Store
7. Cafeteria
8. Computer Sales
9. Confectionery Store (Retail)
10. Department Store
11. Dinner Theatre (SUP Only)
12. Electronics (Retail)
13. Florist
14. Food or Grocery Store (SUP)
15. Furniture Sales (Indoor)
16. Hardware Store
17. Home Improvement Center (SUP)
18. Motion Picture Theatre
19. Pet Shop/Supplies
20. Pharmacy(with Drive-thru)
21. Photo Studio
22. Photocopying /Duplicating
23. Restaurant
24. Retail Store
25. Tailor Shop
26. Theatre (Live Drama) (SUP)
27. Sporting Goods
28. Clothing / Home Goods

B. Area and Yard Regulations

1. Minimum Size of Lot/Tract: There shall be no minimum lot/tract area required.
2. Minimum Lot/Tract Width: Minimum frontage requirements for lots adjacent to either FM 544 or McCreary Road shall be 100'.
3. Minimum Lot/Tract Depth: There shall be no minimum lot/tract depth required.

4. Pad Sites: The maximum number of pad sites allowed along FM 544 shall be two (2).

C. Parking, Driveways and Sidewalks:

1. Parking areas shall not be permitted within any landscape buffer strip.
2. Fire lanes, driveway, loading areas and access easements shall be paved in accordance with the minimum design standards of the City of Murphy codes and ordinances.
3. The number of required parking spaces shall be dependent upon the use and shall meet the requirements of the City of Murphy Comprehensive Zoning Ordinance.
4. No required parking space may be occupied by signs, merchandise, or display items at any time except by specific 30 day permit.
5. A special "signature" paving treatment shall be established as shown on the approved concept plan (Exhibit C). Appropriate locations for the special paving treatment shall include street intersections, pedestrian crosswalks and driveway openings.
6. Sidewalks along FM 544 and McCreary Road shall be 8 feet in width.

D. Loading and Unloading

1. Truck loading berths and apron space shall only be required for space that totals 30,000 square feet or more and shall not be located on the street side of any building or facing another building without adequate screening.
2. Truck loading berths shall not be located within any required setback or landscape buffer strip.
3. Landscaping is required in front of any loading dock facing public right of way, including the loading dock shown on Phase One development facing FM544.

E. Building Height

1. All structures shall have a maximum building height of thirty-five (35) feet except that the maximum height may be increased to forty-five (45) feet to allow for architectural elements.

F. Minimum Exterior Construction Standards, Building Materials and Design-

Exterior Construction and Design Requirements shall comply with the standards set forth in Chapter 28, Code of Ordinances, except as provided below.

Planned Development Conditions

Zoning File 2012-01

Page 4

1. All structures, including all building elevations, shall be constructed utilizing a unified design that is substantially consistent with the approved Exterior Elevation Plan (Exhibit E).
2. All exterior elevations shall utilize a unified design as shown on the approved Exterior Elevation Plan (Exhibit E). At least two masonry materials shall be used in addition to glass on any single building. The following masonry materials shall be allowed:
 - a. Brick
 - b. Cast Stone
 - c. Scored & Textured concrete tilt wall
 - d. EIFS and Stucco (limited to no more than 12% total)
 - e. Stone/simulated stone – per elevation
3. The use of primary or garish colors shall not be predominately used on the exterior façade of any structure. Corporate identities shall be allowed with owner review and approval.
4. Stand fans, skylights, cooling towers, communication towers, satellite dishes, vents, and any other structures or equipment, whether located on the roof or elsewhere, shall be architecturally compatible or effectively shielded from view from any immediately adjacent public dedicated street by an architecturally sound method.
5. Each commercial building, complex of buildings or separate commercial business enterprise shall have a trash bin on the premises adequate to handle the trash and waste items generated, manufactured, or acquired there on by such commercial activities. The sorting, handling, moving, storing, removing and disposing of all waste materials must be housed or screened from view.
6. In all cases, mechanical equipment on roofs and outcroppings shall be clad by a like building material or painted with a color scheme similar to the principal structure walls or roof.

G. Landscape Standards

Landscaping shall comply with the standards set forth in Chapter 28, Code of Ordinances, except as provided below.

1. Landscaping shall generally be as shown on the approved Landscape Plan (Exhibit D). Landscaping shall be required on all developments within the Planned Development District and shall be complete prior to the issuance of any certificate of occupancy for the specific development. An automatic underground irrigation system including freeze and rainwater sensor shall be installed and maintained for all required landscaping and shall be in place and operable at time of planting.
2. A landscape buffer shall be provided twenty-five (25) feet in depth adjacent to the right-of-way of FM 544, twenty-five (25) feet in depth adjacent to McCreary Road. No parking may be placed within any landscape buffer. Pedestrian easements and sidewalks may be located within a landscape buffer.

EXHIBIT B

3. Parking Lots

a. A minimum percentage of the parking area shall be landscaped according to the following requirements. Such landscaping shall be distributed within the parking area, occurring within medians, islands, or peninsulas. All such landscape areas shall be protected by concrete curbing or other acceptable devices which prohibit vehicular access to landscaped areas. Bumper overhang shall not be included as part of required landscaping. A permeable area no less than six (6) feet by six (6) feet shall be provided surrounding each tree located in a surface parking area. Landscape islands within the parking lot shall be a minimum of 64 square feet.

1. The traffic island shown on Phase One development shall be landscaped.
2. Phase One construction is to include Open Space as noted in Phase Two.
3. A total of seven (7) percent of the interior of the entire parking lot regardless of location, shall be landscaped. One large tree or three (3) ornamental trees from the Plant List, shall be provided for each twelve (12) parking spaces, and planted within the seven (7) percent area. Trees shall be distributed so that bays of parking spaces shall not exceed twenty (20) spaces in length.
4. An additional 8% open space shall be provided. This 8% will be for the entire development and not necessarily on a lot by lot basis. The 8% area will consist of two or more of the following amenities:
 - a. Pedestrian walkways
 - b. Benches
 - c. Gazebo
 - d. Constant level pool
 - e. Landscape material
 - f. Hardscape
 - g. Pedestrian lighting

H. Screening

Screening shall comply with the standards set forth in Chapter 28, Code of Ordinances, except as provided below.

1. All screening at the rear (South & West) of the property will be a live screen where required. Plant materials shall conform to the standards of the approved plant list in Section 50 and the current edition of the "American Standard for Nursery Stock" (as amended), published by the American Association of Nurserymen.
2. All truck docks/loading areas for anchor stores with a footprint greater than 30,000 square feet shall be screened from view through the use of 12-foot all masonry walls (which are the same colors and materials as main building). All other screening of the rear of the site shall be living screens (eight foot height and at least 75 percent density within four years of planting unless such areas are screened from public views by a building).

3. Outside seasonal displays shall be permitted within the Planned Development District for no more than 30 days. Outside storage shall not be permitted with the Planned Development District.

I. Site Lighting:

Lighting shall comply with the standards set forth in Chapter 28, Code of Ordinances, except as provided below.

1. Site lighting fixtures used along entrance driveways and parking areas shall be uniform and a consistent design within the development. Lighting standards for illuminating these areas shall be no taller than 30 ft. high. However, the height of all light standards shall be subject to review of the lighting plan during the Site Plan review.

J. Signage and Graphics

Signage will comply with the standards set forth in Chapter 28, Code of Ordinances, except as provided below. No electronic signs are allowed in Planned Development District.

Signature Sign: Developer shall construct a signature sign depicting "City of Murphy" at the intersection of McCreary Road and FM 544 immediately adjacent (behind) the 50x50 visibility triangle. The signature entrance/ development sign must be 2 or 3 dimensional and conceptually similar to the signature sign located on the north west corner of FM 544 and North Murphy Road in Murphy. The developer shall submit the signature signage plans to the City for approval prior to construction.

1. General

- a. All signage for the Planned Development District shall be allowed as shown on the approved Signage Plan (Exhibit F).
- b. Shared Tenant Monument Signs-Two (2) monument signs shall be allowed located on Lot 2 and Lot 3 (One per Lot) and shall be limited to a maximum sign area of 40 square feet.
- c. Shopping center signs-One (1) shopping center sign shall be permitted as shown on the approved Signage Plan (Exhibit F). The shopping center sign shall be limited to a maximum sign area of 240 square feet.
- d. All signs must be surrounded by landscaping.
- e. No signs shall be phased.

2. Shared Tenant Monument Signs

- a. Monument signs shall identify individual tenants or uses within the shopping center. Monument signs shall be a maximum of eight (8) feet tall.

- b. All shared tenant monument signs shall be double-sided, internally illuminated sign panels within a masonry structure. Shared tenant monument signage may also be lit by ground mounted flood lighting or internal letter illumination either face lit or reverse channel lit.
- c. Monument signs shall be located at a setback distance of not less than five (5) feet from the right-of-way line of any adjacent street and maybe incorporated within the landscaping area or buffer.
- d. Construction of monument signs shall include a base of material similar to the material used for buildings.

3. Shopping Center Sign

- a. The shopping center sign shall be constructed at a height not to exceed thirty-five (35) feet upon approval of a building permit of an anchor tenant.
- b. The base of the shopping center sign shall be located at a setback distance of not less than eight (8) feet from the right-of-way line of any adjacent street and may be incorporated within the landscaping area or buffer.
- c. The shopping center sign shall be double-sided, internally illuminated sign panels within a masonry structure. Pylon signs may also be lit by ground mounted flood lighting or internal letter illumination either face lit or reverse channel lit.
- d. Construction of shopping center signs shall include a base of material similar to the material used for buildings.

4. Temporary Marketing Signage

- a. One (1) quality temporary marketing sign shall be permitted on the development on McCreary Road and on FM 544. Temporary signs must be approved by the City Manager or designee and are valid for 180 days.
- b. The maximum signage area will be 64 square feet. The maximum height shall be 8 feet.
- c. All other temporary signage specifically referred to in the Signage Criteria package or in this section shall comply with the City of Murphy standards.
- d. Temporary signs are not required to be constructed of the material used for buildings.

K. Open Space

- 1. All open space amenities shall use a unified design as shown on the approved Amenities Plan. Development within the Planned Development District should make a positive impact to the City by providing defined public spaces and activity centers so that varied activities are encouraged

Planned Development Conditions

Zoning File 2012-01

Page 8

within these areas. This can be accomplished through the incorporation of open spaces that become public amenities and that provide interest within the Tract at the pedestrian level. All pedestrian areas and open space must be located away from vehicular traffic areas as reflected on the concept plan attached.

- a. Outdoor Seating. Any establishment serving food for consumption on-premises is encouraged to provide an outdoor seating area and shall be approved with the site plan.

- b. An additional 8% of open space is required in addition to the landscape, setback, and parking lot island requirements. The additional 8% may be located adjacent to the required setbacks or landscaping at the ROW and property lines or in front or in some cases to the side of the structure. The additional open space percentage may not include the building footprint or vehicular parking lot. This area and associated amenities shall be approved on the site plan. At least one of the following amenities shall be located within the additional 5% open space area and count towards the required percentage.
 - 1. Water feature, such as a fountain or detention pond with constant water level.
 - 2. Plaza or courtyard with art sculpture piece.
 - 3. Outdoor patio or gazebo with seating area.
 - 4. Other areas for pedestrian congregation, and may be approved on the site plan.

VII. Special Regulations:

- A. Right Turn Deceleration Lanes: A right turn deceleration lane shall be required for the driveway on FM 544 at the time construction begins on any pad site along FM 544 and paid for by the developer and/or property owner. A right turn deceleration lane shall be required for the middle driveway on McCreary Road at the time construction begins on the anchor tenant.

- B. Utility Power Lines: Utility distribution and service lines for individual business establishments, buildings, and signs and for any other site development features shall be placed underground.

- C. Cross-Access Requirement: A joint access (i.e.-ingress, egress) easement shall be provided to minimize the number of driveway openings along FM 544 and McCreary Road. The location(s) of access easement(s) shall be shown on the site plan and shall comply with the Texas Department of Transportation (TxDOT) Access Management Standards. Access shall be provided for property to the West of this site for future connectivity.

- D. Outside storage shall not be permitted with the Planned Development District.

Planned Development Conditions

Zoning File 2012-01

Page 9

- E. Outside display of merchandise and temporary seasonal items: Outside display of merchandise and temporary seasonal items, such as Christmas trees, pumpkins, etc., shall be limited to the following:
1. Shall not be placed/located more than 30 feet from the main building.
 2. Shall not occupy any of the parking spaces that are required by this chapter for the primary use of the property, except on a temporary basis only, which is a maximum of 30 days per display and a maximum of two displays per calendar year.
 3. Shall not pose a safety or visibility hazard, nor impede public vehicular or pedestrian circulation, either on site or off site, in any way.
 4. Shall not extend into public right-of-way or onto adjacent property.
 5. All outside display items shall be removed at the end of business each day, except for large seasonal items such as Christmas trees.
 6. All merchandise shall be displayed in a neat, orderly manner, and the display area shall be maintained in a clean, litter-free manner.
- F. Maintenance: The developer and/or property owner of any part of the Planned Development District shall maintain the property in terms of quality landscape maintenance, trash removal, interior and exterior sign conditions, trash receptacles and other amenities to ensure a consistent high quality development.

Exhibit C
Concept Plan

Exhibit D
Landscape Plan

Exhibit E
Exterior Elevation Plan



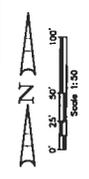
Winkelmann & Associates, Inc.
 1200 CORPORATE DRIVE, SUITE G-50
 BIRMINGHAM, ALABAMA 35242
 PHONE: (205) 988-1100
 FAX: (205) 988-1101
 WWW: WWW.WINKELMANN-ASSOCIATES.COM

HENRY MAXWELL SURVEY, ABSTRACT NO. 579
 CITY OF MURPHY
 COLLIN COUNTY, TEXAS
 GRACE DEVELOPMENT, INC.
 1200 CORPORATE DRIVE, SUITE G-50
 BIRMINGHAM, ALABAMA 35242

**PHASING PLAN
 McCREARY MARKETPLACE
 MURPHY, TEXAS**

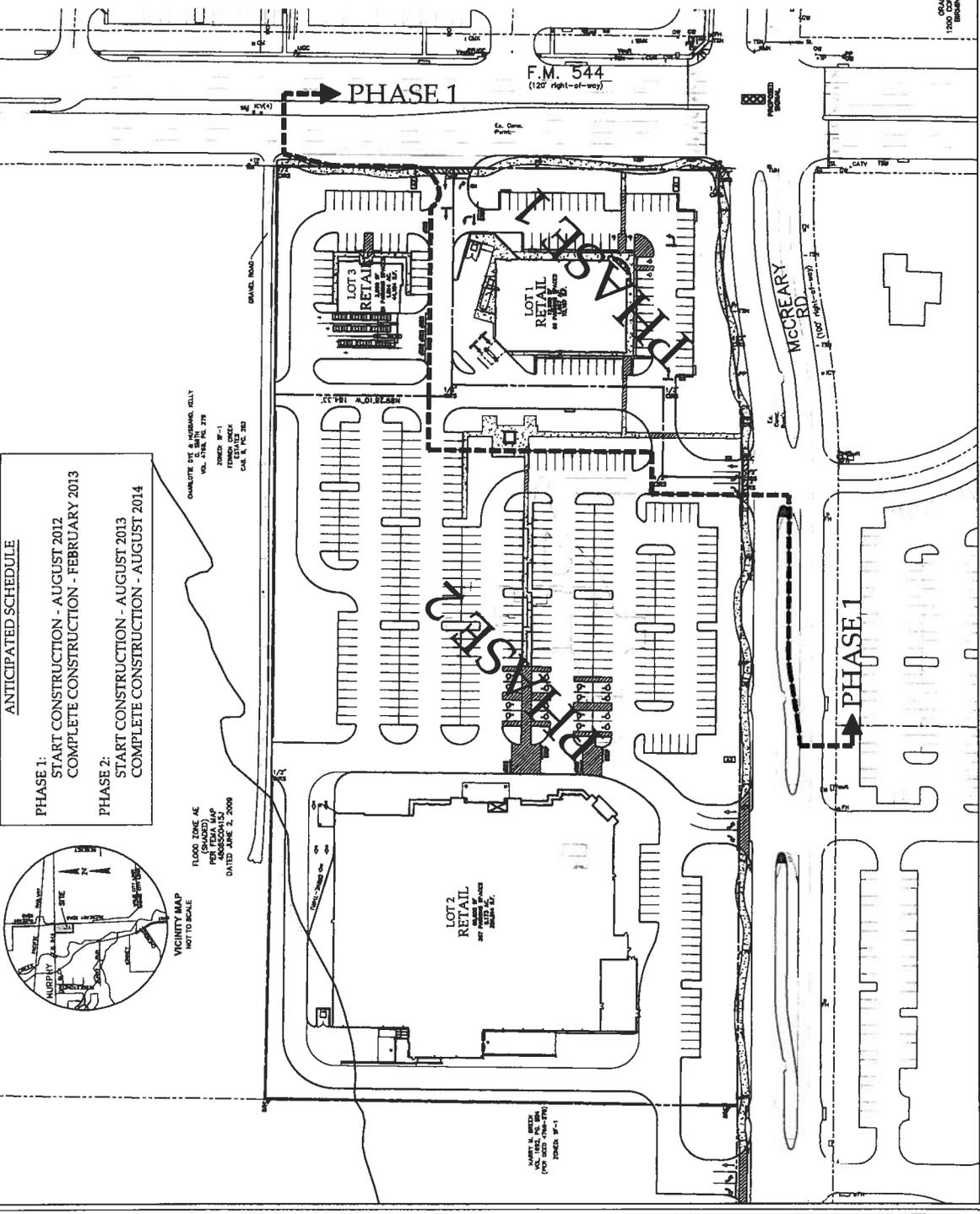
Project No.: 79102.01(10)
 Title: Phasing Plan
 Date: April 17, 2012
 Sheet: 1 of 50

NO.	DATE	REVISION



**PHASING PLAN
 McCREARY MARKETPLACE
 LOTS 1, 2 & 3, BLOCK A
 10.844 ACRES OUT OF THE
 HENRY MAXWELL SURVEY,
 ABSTRACT NO. 579
 CITY OF MURPHY
 COLLIN COUNTY, TEXAS**

WINKELMANN & ASSOCIATES, INC.
 1200 CORPORATE DRIVE, SUITE G-50
 BIRMINGHAM, ALABAMA 35242
 (205) 988-1100



ANTICIPATED SCHEDULE

PHASE 1:
 START CONSTRUCTION - AUGUST 2012
 COMPLETE CONSTRUCTION - FEBRUARY 2013

PHASE 2:
 START CONSTRUCTION - AUGUST 2013
 COMPLETE CONSTRUCTION - AUGUST 2014



FLOOD ZONE AE
 PER FEMA MAP
 DATED JUNE 2, 2008

CONCRETE BYE & RETURN, ULLY
 NO. 2, SUITE 274
 10000 W. STATE ST.
 FORT WORTH, TX 76133
 CALL: 817.752.1100

PROPERTY ZONED
 MURPHY, TEXAS
 (NOT ZONED 794B-1P)
 ZONING 99-1

McCreary Marketplace

Ozarks Development, Inc.
1206 Corporate Drive
Suite C-50
BIRMINGHAM, AL 35242
TEL: (205) 408-3443
FAX: (205) 408-1850

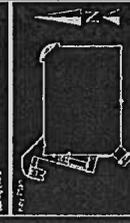
JACOBS
777 Main St.
Fort Worth, TX 76102

Proposed Conceptual Retail 1

West Elevation		South Elevation	
Material	Sq. Ft.	Material	Sq. Ft.
Block	480	Block	177
Cast Stone	27	Cast Stone	213
ACME Brick	22	ACME Brick	15
Aluminum	187	Aluminum	183
Windows	12	Windows	12
Doors	12	Doors	12
Total	728	Total	532

East Elevation		North Elevation	
Material	Sq. Ft.	Material	Sq. Ft.
Block	150	Block	150
Cast Stone	33	Cast Stone	33
ACME Brick	86	ACME Brick	133
Aluminum	73	Aluminum	133
Windows	7	Windows	62
Doors	7	Doors	31
Total	253	Total	342

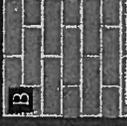
NOTES:
1. All elevations are shown in perspective.
2. All elevations are shown in perspective.
3. All elevations are shown in perspective.
4. All elevations are shown in perspective.
5. All elevations are shown in perspective.
6. All elevations are shown in perspective.
7. All elevations are shown in perspective.
8. All elevations are shown in perspective.
9. All elevations are shown in perspective.
10. All elevations are shown in perspective.



Scale: 1" = 20'
McCreary Marketplace
Sheet No. 1
Date: March 06, 2012



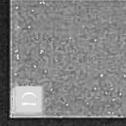
A
LUEDEKS
LIMESTONE



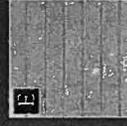
B
ACME BRICK
"Crimson"



C
CLASSIC
CAST STONE

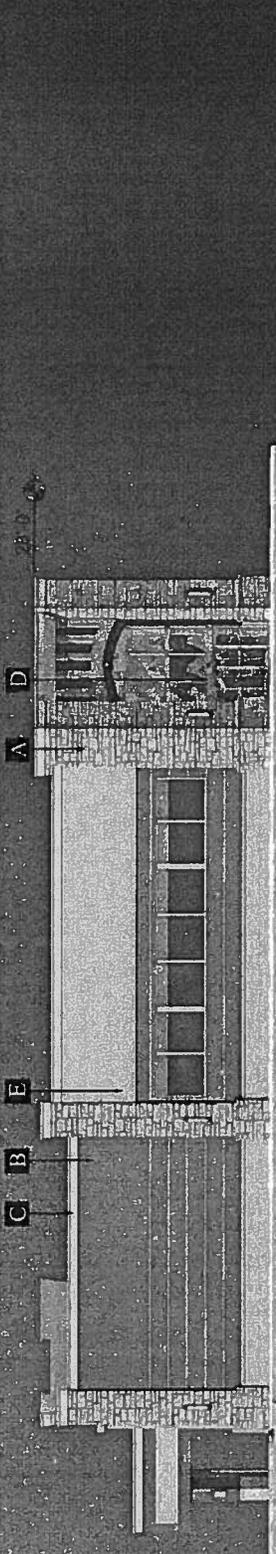


D
ANODIZED
ALUMINUM

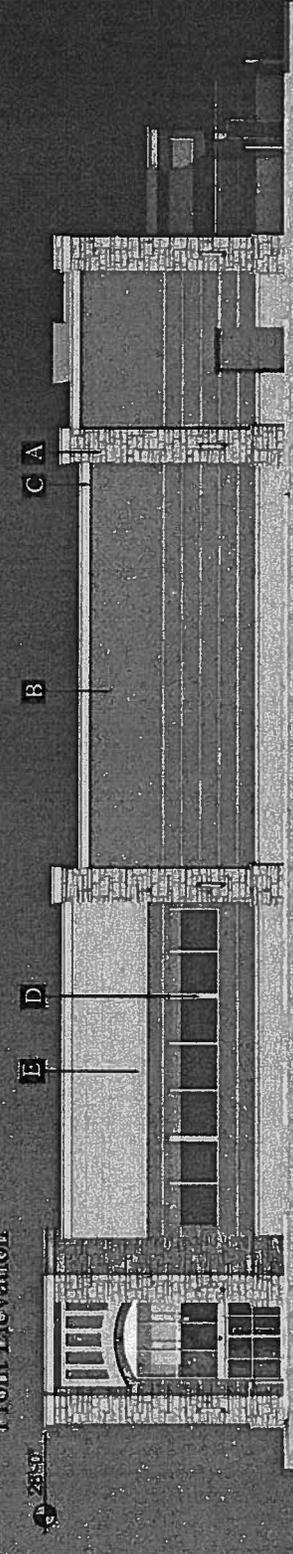


E
ACME BRICK
"Rockefeller Plaza"

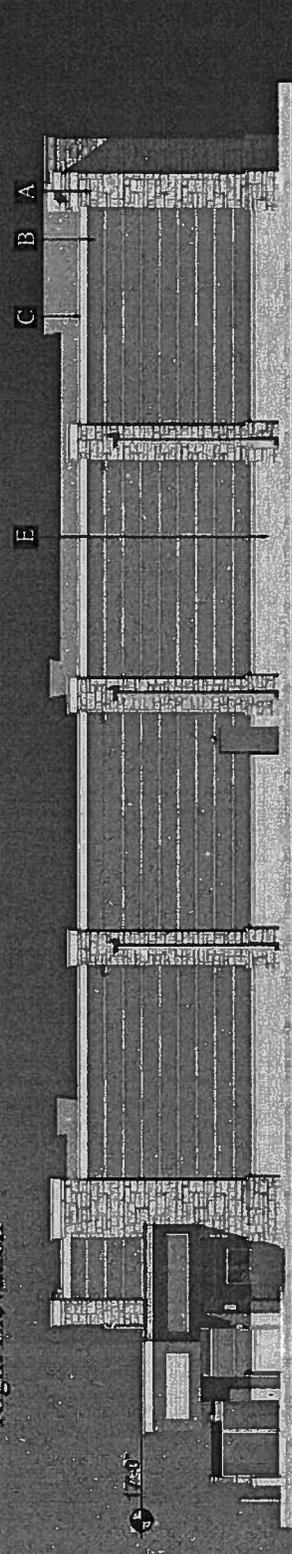
*Signage to be provided separately by sign vendor



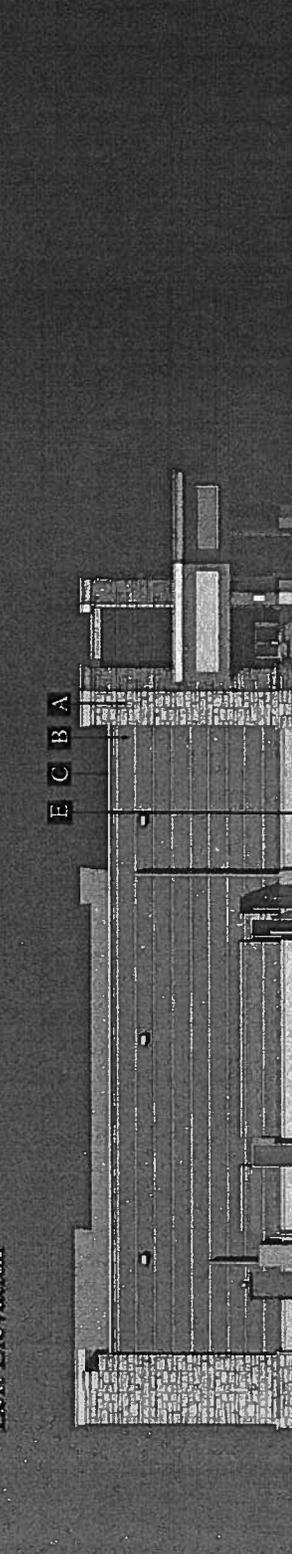
Front Elevation



Right Elevation



Left Elevation

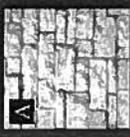


Right Elevation

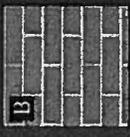
McCreary Marketplace

Orange Development Inc.
1208 Central Drive
Suite C-50
BIRMINGHAM, AL 35242
TEL: (205) 608-3443
FAX: (205) 945-1650

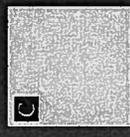
JACOBS
777 Avin St.
Fort Worth, TX 76102



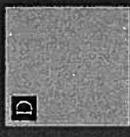
A
LIEDERS
LIMESTONE



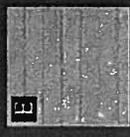
B
ACME BRICK
"GRIMSON"



C
CLASSIC
CAST STONE



D
ANODIZED
ALUMINUM



E
ACME BRICK
"Rockefeller Plaza"

North (front) Elevation

South Elevation

East Elevation

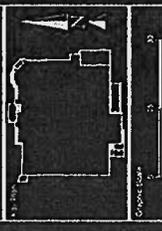
West Elevation

Proposed Conceptual Retail 2

North Elevation			East Elevation		
Material	%	Area	Material	%	Area
Stone	50%	1,200	Stone	50%	1,200
Brick	25%	600	Brick	25%	600
Cast Stone	25%	600	Cast Stone	25%	600
Aluminum	0%	0	Aluminum	0%	0
Other	0%	0	Other	0%	0
Total	100%	2,400	Total	100%	2,400

South Elevation			West Elevation		
Material	%	Area	Material	%	Area
Stone	50%	1,200	Stone	50%	1,200
Brick	25%	600	Brick	25%	600
Cast Stone	25%	600	Cast Stone	25%	600
Aluminum	0%	0	Aluminum	0%	0
Other	0%	0	Other	0%	0
Total	100%	2,400	Total	100%	2,400

Notes:
1. This is a conceptual elevation only. It is not intended to be used for construction purposes.
2. All materials and colors are subject to change without notice.
3. All materials and colors are subject to change without notice.
4. All materials and colors are subject to change without notice.
5. All materials and colors are subject to change without notice.



Scale: 1" = 20'
McCreary Marketplace
Sheet No. 3
Date: Jan. 25, 2012

*Signage to be provided separately by sign vendor.

Exhibit F
Signage Plan



Project #
12-07285

Sheet 1 of 1

Client
CVS pharmacy

SWC FMS44 & McCreary Rd
Murphy, Texas

Account Rep.
WLF / DH

Designer
KMAC

Date
6-12-12

Revised/Drawn

Client	
Site	
Contract	
By	
Checked	
Approved	

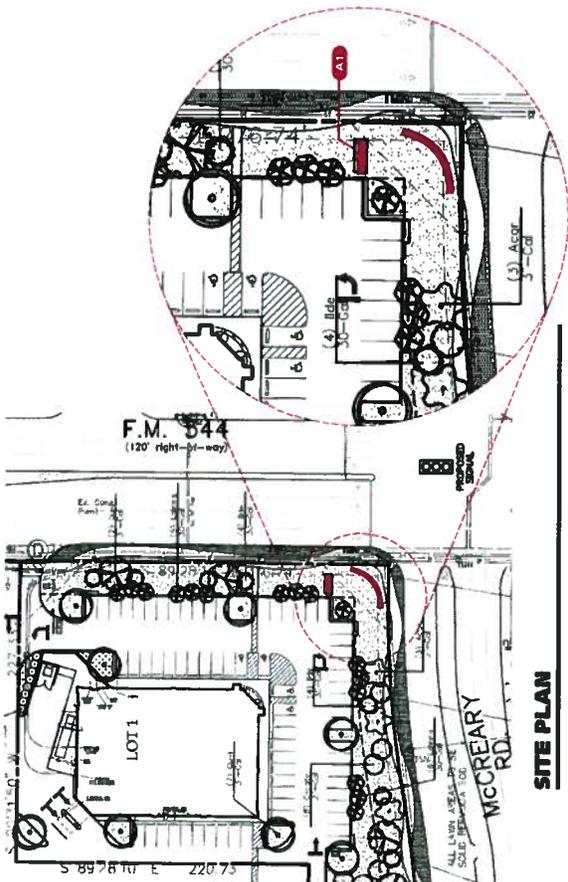
Revised/Drawn

01	06	9/11/12
02	06	12/28/12
03	06	12/28/12
04	06	12/28/12
05	06	12/28/12

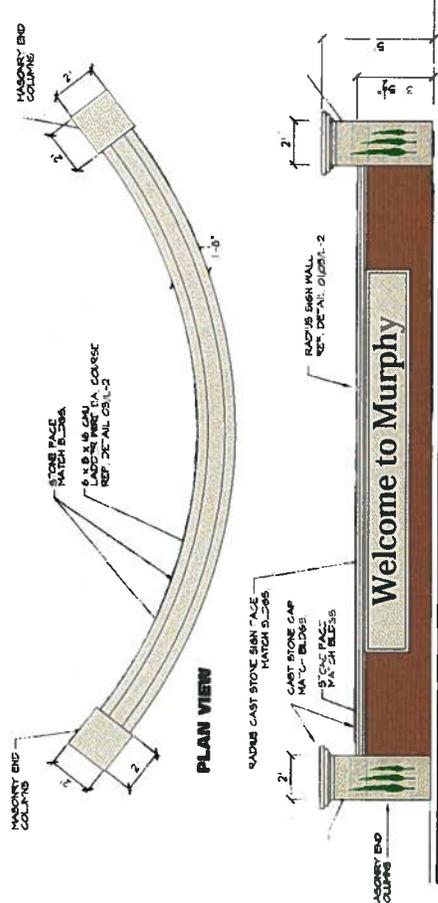


1200 West Hwy. Suite 203
14-002-2000 Fax 14-002-2004
12000 Wilshire, Suite 203
14-002-2000 Fax 14-002-2004
2408 West Hwy. Suite 200
14-002-2000 Fax 14-002-2004
250 E. Hwy. 24, Suite 200
14-002-2000 Fax 14-002-2004
17440-1307 Fax 17-002-1306
14-002-2000 Fax 14-002-2004

FINAL ELECTRICAL CONNECTION BY CUSTOMER



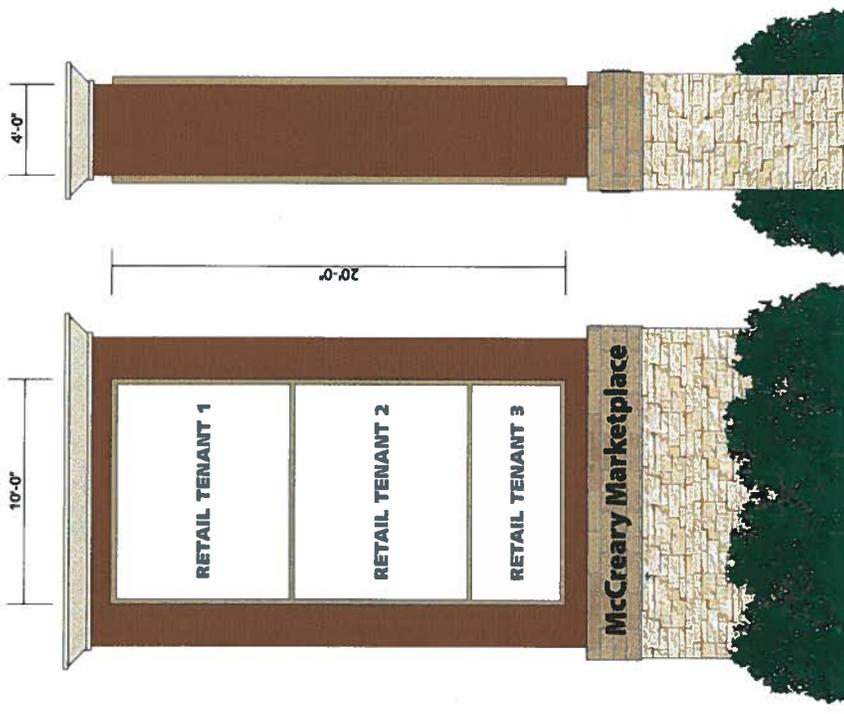
SITE PLAN



PLAN VIEW

FRONT / RADIUS SIGN WALL

PROJECT IDENTIFICATION SIGN 3/16" = 1'-0"



A1 D/F MONUMENT SIGN 3/16" = 1'-0"
(1) REQUIRED