

MURPHY PLANNING AND ZONING COMMISSION AGENDA
SPECIAL PLANNING AND ZONING COMMISSION MEETING
September 12, 2016 AT 6:00 PM, CITY HALL, COUNCIL CHAMBERS
206 NORTH MURPHY ROAD
MURPHY, TEXAS 75094



NOTICE is hereby given of a meeting of the Planning and Zoning Commission of the City of Murphy, Collin County, State of Texas, to be held on September 12, 2016 at Murphy City Hall for the purpose of considering the following items. The Planning and Zoning Commission of the City of Murphy, Texas, reserves the right to meet in closed session on any of the items listed below should the need arise and if applicable pursuant to authorization by Title 5, Chapter 551, of the Texas Government Code.

1. CALL TO ORDER

Steve Levy
Chairman

2. ROLL CALL & CERTIFICATION OF A QUORUM

Camille Hooper
Vice Chair

3. PUBLIC COMMENTS

Lloyd Jones
Secretary

4. INDIVIDUAL CONSIDERATION

A. Hold a public hearing and consider and/or act on the application of Pogue Engineering, a division of Westwood to request approval of a Variance from the drainage design standards of the City of Murphy to allow an alternative design for applicant's required off-site drainage facilities. Located on 1.33 acres, having the legal description of Abstract A0859 Mary Scott Survey, Tract 85. This property is located on West FM 544, just west of Heritage Parkway.

Christine Johnson
Commissioner

B. Hold a public hearing and consider and/ or act on the application of Pogue Engineering, a division of Westwood to request approval of a Variance for the landscape design standards in Chapter 26 of the Murphy Code of Ordinances, to allow the placement of 14 trees off-site instead of on the project site. Located on 1.33 acres, having the legal description of Abstract A0859 Mary Scott Survey, Tract 85. This property is located on West FM 544, just west of Heritage Parkway.

John Johnson
Commissioner

Julie Kamm
Commissioner

Greg Mersch
Commissioner

C. Consider and/ or act on the application of Pogue Engineering, a division of Westwood, requesting approval of a site plan, landscape plan, building elevations and construction plat for Smiles at Murphy on a property located on West FM 544, just west of Heritage Parkway to build a 7,820 square foot building for medical offices uses.

Christopher George
Alternate

James Holley
Alternate

5. ADJOURNMENT

Kelly Carpenter AICP
Interim Director of
Economic and
Community
Development

I certify that this is a true and correct copy of the Murphy Planning and Zoning Commission Meeting Agenda and that this notice was posted on the designated bulletin board at Murphy City Hall, 206 North Murphy Road, Murphy, Texas 75094; a place convenient and readily accessible to the public at all times, and said notice was posted September 9, 2016 by 5:00 p.m. and will remain posted continuously for 72 hours prior to the scheduled meeting pursuant to Chapter 551 of the Texas Government Code.

Bailey Ragsdale
Bailey Ragsdale
Administrative Assistant

Tina Stelnicki
Community
Development
Coordinator

In compliance with the American with Disabilities Act, the City of Murphy will provide for reasonable accommodations for persons attending public meetings at City Hall. Requests for accommodations or interpretive services must be received at least 48 hours prior to the meeting. Please contact the City Secretary at (972) 468-4011 or squinn@murphytx.org.

Issue

Hold a public hearing and consider and/or act on the application of Pogue Engineering, a division of Westwood, to request approval of a variance from the drainage design standards of the City of Murphy to allow an alternative design for applicant's required off-site drainage facilities. This variance is for Smiles at Murphy project on property located on West FM 544, just west of Heritage Parkway.

Staff Resource/Department

Kelly Carpenter, AICP, Interim Director of Economic and Community Development
Tina Stelnicki, Community Development Coordinator
Craig Kerkhoff, P.E.

Summary

Applicant is proposing an alternative engineering design which is not allowed in Murphy's code. Pursuant to section 28.01.009 of the code, applicant may request a variance from the code which, if granted, would allow the alternative design to be used. The issue is, the engineering treatment of offsite flows in the floodplain. The design drainage channel and easement shall extend from the site to the receive waters, not the 100 foot setback line. Channel shall be graded out to provide the appropriate free board contours for both easements extended to the channel and shall be shown on the construction plat.

Staff Recommendation

Approve the variance with a requirement that the applicant maintain the proposed channel and easements until a building permit for construction is issued for the property on which the drainage feature in question is constructed. There shall be an agreement between the city and the applicant as to such maintenance.

Issue

Hold a public hearing and consider and/or act on the application of Pogue Engineering, a division of Westwood to request approval for a variance of the Landscape Design Standards of the City of Murphy Code. This variance is to place 14 trees required for mitigation off site from the project being considered (Smiles for Murphy).

Staff Resource/Department

Kelly Carpenter, AICP, Interim Director of Economic and Community Development
Matt Foster, Parks Department
Tina Stelnicki, Community Development Coordinator

Summary

This is a request for a variance to locate 14 trees required for mitigation on the parcel next door to the applicant's property or on city property. Applicant asserts that there is not sufficient room on the project site for them to add 14 trees. There are two alternatives:

- a. Plant the mitigation trees on public property where they can be properly maintained and provides future protection from the possibility of development.
- b. Plant the mitigation trees on private property in an easement or easements which protects them in perpetuity from development and provides for their continued maintenance.

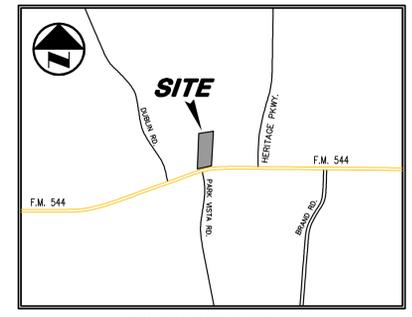
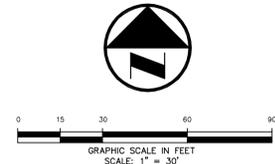
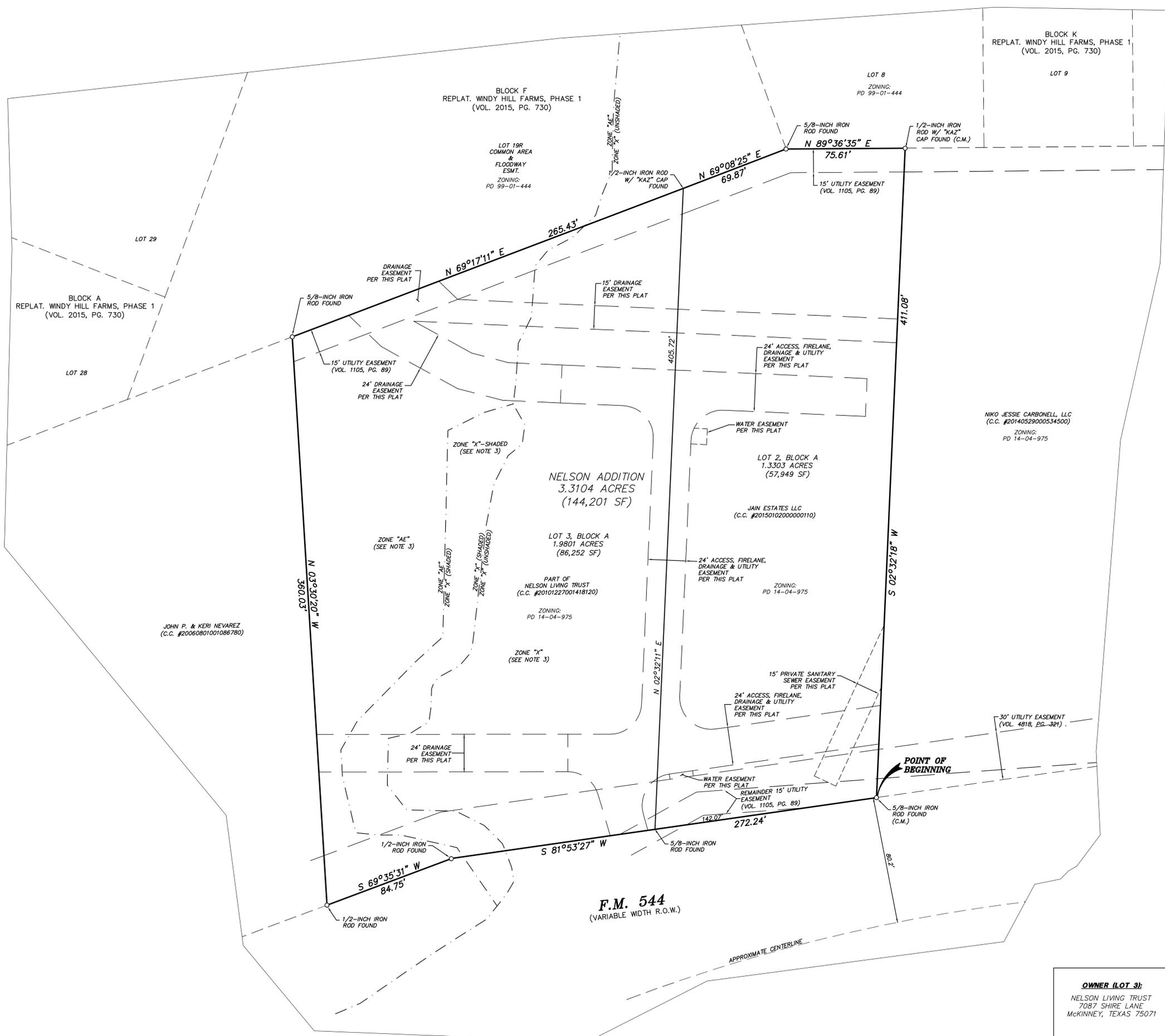
Staff Recommendation

Staff recommends approval of a variance allowing the location of the required 14 mitigation trees offsite, location to be decided by City Council or negotiated between applicant and staff.

Attachments

Construction Plat
Landscape Plan
Aerial of adjacent property showing tree locations

ANNE MARIE LEE, 08/19/2016, 10:52AM
 A:\0008645.DWG SURVEY\0008645.FP.DWG
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VICINITY MAP
NOT TO SCALE

NOTES:

- Bearing system for this survey is based on grid North State Plane Coordinates of the Texas Coordinate System NAD83 (CORS96) Texas North Central Zone (4202), NAVD88.
- Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and withholding of utilities and building permits.
- The subject property is shown on the National Flood Insurance Program Flood Insurance Rate Map for Collin County, Texas and Incorporated Areas Community Panel Number 48085C0395J, Dated: June 2, 2009. All of the subject property is indicated to be in Zone "X" and Zone "AE" on said map. Relevant zones are defined on said map as follows:

- Zone "X" - Other Areas: Areas determined to be outside the 0.2% annual chance floodplain.
- Zone "X" (shaded) - Other Flood Areas: Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.
- Zone "AE" - Special Flood Hazard Areas (SFHAs) subject to inundation by the 1% Annual Chance Flood: Base Flood Elevations determined.

This flood statement regarding flooding does not imply that the property and/or structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

- (C.M.) - Controlling Monument.

CONSTRUCTION PLAT
NELSON ADDITION
LOT 2 & 3, BLOCK A
 AN ADDITION TO THE CITY OF MURPHY, TEXAS
 AND BEING OUT OF THE
 M. SCOTT SURVEY, ABSTRACT No. 859
 COLLIN COUNTY, TEXAS
 SHEET 1 OF 2

OWNER (LOT 3):
 NELSON LIVING TRUST
 7087 SHIRE LANE
 MCKINNEY, TEXAS 75071

OWNER (LOT 2):
 JAIN ESTATES, LLC
 1331 Twin Knoll Drive
 Murphy, Texas 75094
 (201) 970-6273


 ENGINEERING & DEVELOPMENT COMPANY, INC.
 a division of **Westwood**
(214) 437-4640 PHONE
1512 BRAY CENTRAL DRIVE SUITE 100 MCKINNEY, TEXAS 75069 (888) 937-5150 TOLL FREE WWW.WESTWOODPS.COM
TX BOARD PROF. ENGINEERS, CERT. #11756; TX BOARD PROF. LAND SURVEYING, CERT. 1007430

PREPARED	05-04-2016
SURVEYED	04-20-2016
SCALE:	1" = 30'
W NUMBER	R0008645.00
DRAWN BY:	RLG
CHECKED BY:	AWS

ANS/MJL/ELC/ON 08/29/2016 10:52AM
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 © WESTWOOD MULTI-DISCIPLINED SURVEYING & ENGINEERING, 2016. ALL RIGHTS RESERVED. THE ENGINEERING DESIGN, DETAIL AND ENGINEERING DRAWINGS FOR THIS PROJECT AND/OR OVERALL PROJECT ARE THE LEGAL PROPERTY OF WESTWOOD MULTI-DISCIPLINED SURVEYING & ENGINEERING. THEIR USE FOR REPRODUCTION, CONSTRUCTION, OR DISTRIBUTION IS PROHIBITED UNLESS AUTHORIZED IN WRITING BY WESTWOOD MULTI-DISCIPLINED SURVEYING & ENGINEERING.

STATE OF TEXAS ~

COUNTY OF COLLIN ~

WHEREAS, Jain Estates LLC and Nelson Living Trust are the owners of a 3.3104 acre tract of land situated in the M. Scott Survey, Abstract No. 859, Collin County, Texas; said tract being all of that certain tract of land described in Warranty Deed to Jain Estates LLC recorded in County Clerk's File No. 20150102000000110 of the Deed Records of Collin County, Texas and part of that certain tract of land described in Warranty Deed to Nelson Living Trust recorded in County Clerk's File No. 20101227001418120 of the said Deed Records; said 3.3104 acre tract being more particularly described as follows:

BEGINNING, at a 5/8-inch iron rod found in the northerly right-of-way line of F. M. 544 (a variable width right-of-way); said point being the southeast corner of said Jain Estates tract and the southwest corner of that certain tract of land described in Warranty Deed with Vendor's Lien to Niko Jessie Carbonell, LLC recorded in County Clerk's File No. 20140529000534500 of the said Deed Records;

THENCE, along the said northerly line of F.M. 544, the following two (2) calls:

South 81 degrees, 53 minutes, 27 seconds West, at a distance of 142.07 feet passing a 5/8-inch iron rod found at the southwest corner of said Jain Estates tract, continuing in all a total distance of 272.24 feet to a 1/2-inch iron rod found at an angle point;

South 69 degrees, 35 minutes, 31 seconds West, a distance of 84.75 feet to a 1/2-inch iron rod found for corner in the east line of that certain tract of land described in Quitclaim Deed to John Paul and Kerri Nevarez recorded in County Clerk's File No. 20060801001086780 of the said Deed Records;

THENCE, North 03 degrees, 30 minutes, 20 seconds West, departing the said northerly line of F.M. 544, a distance of 360.03 feet to a 5/8-inch iron rod found for corner in the southeasterly line of Lot 19R, Block F, Replat, Windy Hill Farms, Phase 1, an addition to the City of Murphy, Texas according to the plat recorded in Volume 2015, Page 730 of the Plat Records of Collin County, Texas;

THENCE, North 69 degrees, 17 minutes, 11 seconds East, along the said southeasterly line of Lot 19R, Block F, a distance of 265.43 feet to a 1/2-inch iron rod with "KAZ" cap found at an angle point; said point also being the northwest corner of said Jain Estates tract;

THENCE, North 69 degrees, 08 minutes, 25 seconds East, continuing along the said southeasterly line of Lot 19R, Block F and along the northwest line of said Jain Estates tract, a distance of 69.87 feet to a 5/8-inch iron rod found for corner; said point also being the southeast corner of said Lot 19R, Block F and the southwest corner of Lot 8, Block K of said Replat, Windy Hill Farms, Phase 1;

THENCE, North 89 degrees, 36 minutes, 35 seconds East, along the north line of said Jain Estates tract and the south line of said Lot 8, Block K, a distance of 75.61 feet to a 1/2-inch iron rod with "KAZ" cap found for corner; said point also being the northeast of said Jain Estates tract and the northwest corner of said Niko Jessie Carbonell tract;

THENCE, South 02 degrees, 32 minutes, 18 seconds West, departing the said north line of Jain Estates tract and said south line of Lot 8, Block F and along the common line between said Jain Estates tract and said Niko Jessie Carbonell tract, a distance of 411.08 feet to the POINT OF BEGINNING;

CONTAINING, 144,201 square feet or 3.3104 acres of land, more or less.
SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, Roman L. Groysman, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as "set" were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Murphy.

PRELIMINARY

RELEASED 08/29/16 FOR REVIEW PURPOSES ONLY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE.

Roman L. Groysman,
Registered Professional Land Surveyor
No. 5864



STATE OF TEXAS ~

COUNTY OF COLLIN ~

BEFORE ME, the undersigned authority in and for the State of Texas, on this day personally appeared Roman L. Groysman, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed and in the capacity therein stated.

WITNESS MY HAND at Collin County, Texas, this _____ day of _____, 2016.

Notary Public in and for the State of Texas.

RECOMMENDED BY: Planning and Zoning Commission
City of Murphy, Texas

Signature of Chairperson Date of Recommendation

APPROVED BY: City Council
City of Murphy, Texas

Signature of Mayor Date of Approval

ATTEST: _____
City Secretary Date

STATE OF TEXAS ~

COUNTY OF COLLIN ~

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That Jain Estates LLC, and Nelson Living Trust acting herein by and through their duly authorized officer(s), does hereby adopt this plat designating the herein above described property as JAIN ADDITION, BLOCK A, LOT 1, an addition to the City of Murphy, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, rights-of-way, and other public improvements shown thereon. The streets and alleys, if any, are dedicated for street purposes. The easements and public use areas, as shown, are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City Council of the City of Murphy. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Murphy's use thereof. The City of Murphy and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Murphy and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.

That Jain Estates LLC, and Nelson Living Trust does hereby covenant and agree that they shall construct upon the fire lane easements, as dedicated and shown hereon, a hard surface in accordance with the City of Murphy's paving standards for fire lanes, and that he (they) shall maintain the same in a state of good repair at all times and keep the same free and clear of any structures, fences, trees, shrubs, or other improvements or obstruction, including but not limited to the parking of motor vehicles, trailers, boats or other impediments to the accessibility of fire apparatus. The maintenance of paving on the fire lane easements is the responsibility of the owner, and the owner shall post and maintain appropriate signs in conspicuous places along such fire lanes, stating "Fire Lane, No Parking or Standing." The local law enforcement agency(s) is hereby authorized to enforce parking regulations within the fire lanes, and to cause such fire lanes and utility easements to be maintained free and unobstructed at all times for fire department and emergency use. That Jain Estates LLC, does covenant and agree that the access easement may be utilized by any person or the general public for ingress and egress to other real property, and for the purpose of general public vehicular and pedestrian use and access, and for fire department and emergency use in, along, upon and across said premises, with the right and privilege at all times of the City of Murphy, its agents, employees, workmen and representatives having ingress, egress, and regress in, along, upon and across said premises.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Murphy, Texas.

WITNESS, my hand, this the _____ day of _____, 2016.

BY: _____

BY: _____

Printed name and title

Printed name and title

STATE OF TEXAS

COUNTY OF _____

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____ owner, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed. Given under my hand and seal of office, this _____ day of _____, 2016.

Notary Public in and for the State of Texas

My commission expires on: _____

STATE OF TEXAS

COUNTY OF _____

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____ owner, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed. Given under my hand and seal of office, this _____ day of _____, 2016.

Notary Public in and for the State of Texas

My commission expires on: _____

CONSTRUCTION PLAT
NELSON ADDITION
LOT S 2 & 3, BLOCK A
AN ADDITION TO THE CITY OF MURPHY, TEXAS
AND BEING OUT OF THE
M. SCOTT SURVEY, ABSTRACT No. 859
COLLIN COUNTY, TEXAS
SHEET 2 OF 2

OWNER (LOT 3): NELSON LIVING TRUST 7087 SHIRE LANE MCKINNEY, TEXAS 75071	OWNER (LOT 2): JAIN ESTATES, LLC 1331 Twin Knoll Drive Murphy, Texas 75094 (201) 970-6273	 ENGINEERING & DEVELOPMENT COMPANY, INC. a division of Westwood	PREPARED	05-04-2016
			SURVEYED	04-20-2016
			SCALE:	1" = 30'
			W NUMBER	R0008645.00
			DRAWN BY:	RLG
			CHECKED BY:	AWS

DWG NO: 0008645FP.DWG

SMILES AT MURPHY LANDSCAPING

MURPHY, TX

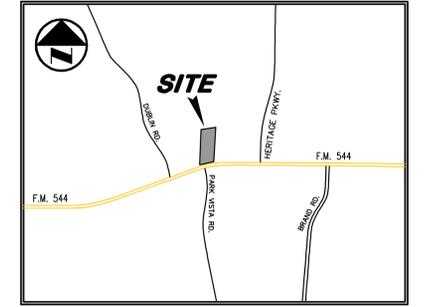
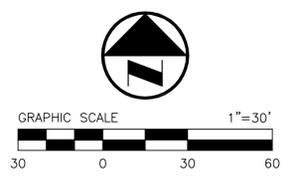
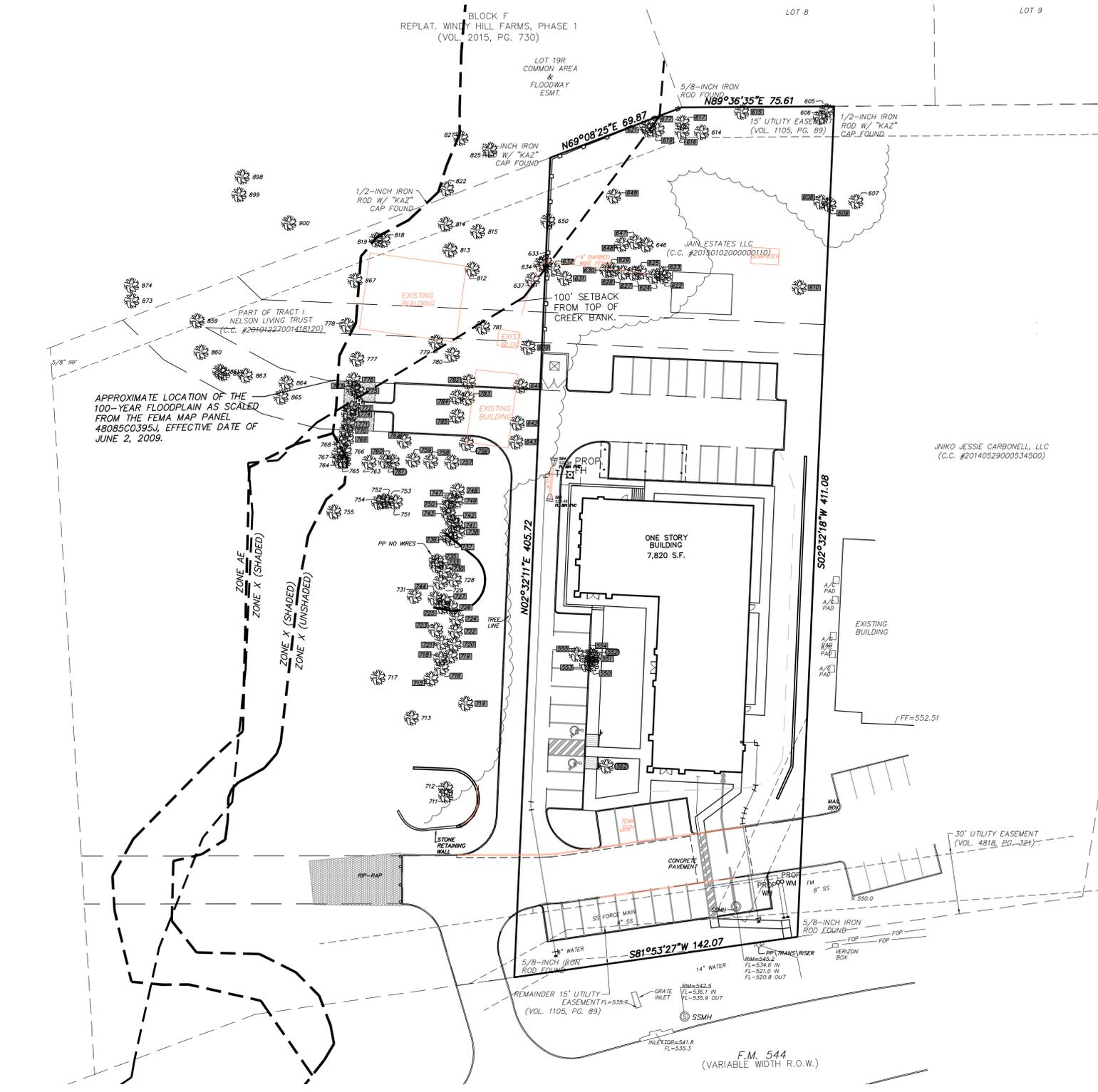


SMILES AT MURPHY LANDSCAPING

MURPHY, TX



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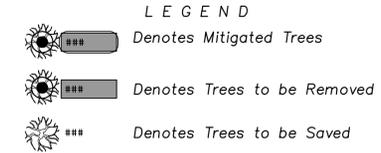


VICINITY MAP
NOT TO SCALE

Point #	Description	Point #	Description	Point #	Description	Point #	Description
550	6" HACKBERRY	650	12" ELM	755	12" ELM	859	10" ELM
551	10" HACKBERRY	677	2-10" HACKBERRY	756	2-6" ELM	860	5-6" ELM
552	8" HERCULES CLUB	711	28" PECAN	757	18" HACKBERRY	861	3-6" ELM
553	12" HACKBERRY	712	8" ELM	758	10" BOIS D'ARC	862	8" ELM
554	36" BOIS D'ARC	713	6" HERCULES CLUB	759	2-8" HACKBERRY	863	8" ELM
555	8" HACKBERRY	714	2-16" HACKBERRY	760	6" HACKBERRY	864	18" ELM
556	16" ELM	715	6" HACKBERRY	761	6" ELM	865	10" BOIS D'ARC
605	36" PECAN	716	6" HACKBERRY	762	2-6" BOIS D'ARC	867	8" ELM
606	28" PECAN	717	8" BOIS D'ARC	763	2-10" HACKBERRY	873	24" PECAN
607	12" BOIS D'ARC	718	8" HACKBERRY	764	2-10" HACKBERRY	874	36" COTTONWOOD
608	12" BOIS D'ARC	719	12" HACKBERRY	765	6" ELM	898	12" HACKBERRY
609	14" HACKBERRY	720	12" HACKBERRY	766	12" HACKBERRY	899	6" ELM
610	3-10" HACKBERRY	721	6" HACKBERRY	767	6" HACKBERRY	900	2-6" ELM
614	10" ELM	722	8" HACKBERRY	768	6" HACKBERRY		
615	2-12" BOIS D'ARC	723	8" HACKBERRY	769	6" HACKBERRY		
616	6" HACKBERRY	724	36" BOIS D'ARC	770	6" HACKBERRY		
617	6" HACKBERRY	725	8" HACKBERRY	771	12" HACKBERRY		
618	6" BOIS D'ARC	726	6" HACKBERRY	772	12" HACKBERRY		
619	2-10" HACKBERRY	727	6" HACKBERRY	773	12" HACKBERRY		
620	3-6" HACKBERRY	728	24" ELM	774	6" HACKBERRY		
621	6" HACKBERRY	729	10" ELM	775	12" HACKBERRY		
622	12" HACKBERRY	730	12" HACKBERRY	776	8" HACKBERRY		
623	6" HACKBERRY	731	8" HACKBERRY	777	12" ELM		
624	12" HACKBERRY	732	12" HACKBERRY	778	36" BOIS D'ARC		
625	12" HACKBERRY	733	8" HACKBERRY	779	12" HACKBERRY		
626	12" HACKBERRY	734	10" HACKBERRY	780	6" HACKBERRY		
627	12" HACKBERRY	735	6" HACKBERRY	781	40" PECAN		
628	12" HACKBERRY	736	12" HACKBERRY	782	6" BOIS D'ARC		
629	12" HACKBERRY	737	12" HACKBERRY	783	6" HACKBERRY		
630	12" HACKBERRY	738	12" HACKBERRY	784	6" BOIS D'ARC		
631	12" HACKBERRY	739	2-10" HACKBERRY	785	6" BOIS D'ARC		
632	6" HACKBERRY	740	14" HACKBERRY	786	6" BOIS D'ARC		
633	24" ELM	741	12" HACKBERRY	787	6" BOIS D'ARC		
634	12" HACKBERRY	742	14" HACKBERRY	788	6" BOIS D'ARC		
635	6" HACKBERRY	743	12" HACKBERRY	789	6" BOIS D'ARC		
636	10" BOIS D'ARC	744	12" HACKBERRY	790	6" HACKBERRY		
637	10" BOIS D'ARC	745	14" HACKBERRY	791	6" HACKBERRY		
638	24" HACKBERRY	746	14" HACKBERRY	792	12" ELM		
639	4-12" HACKBERRY	747	6" HACKBERRY	793	12" ELM		
640	18" HACKBERRY	748	6" HACKBERRY	794	12" ELM		
641	6" PECAN	749	6" HACKBERRY	795	6" ELM		
642	12" BOIS D'ARC	750	6" HACKBERRY	796	6" ELM		
643	12" BOIS D'ARC	751	6" HACKBERRY	797	24" BOIS D'ARC		
644	3-12" BOIS D'ARC	752	6" HACKBERRY	798	2-12" BOIS D'ARC		
		753	10" HACKBERRY	799	18" PECAN		
		754	6" BOIS D'ARC	800			

LEGEND

B	BOLLARD
EM	ELECTRIC METER
PP	POWER POLE
LS	LIGHT STANDARD
WM	WATER METER
WV	WATER VALVE
ICV	IRRIGATION CONTROL VALVE
FDH	FIRE HYDRANT
FDCC	FIRE DEPARTMENT CONNECTION
CO	CLEAN OUT
MH	MANHOLE
GM	GAS METER
TSC	TRAFFIC SIGNAL CONTROL
TSP	TRAFFIC SIGNAL POLE
STN	TRAFFIC SIGN
TELE	TELEPHONE BOX
TV	TV BOX
FP	FLAG POLE
L.A.	LANDSCAPE AREA
---	PROPERTY LINE
---OHL---	O.H. POWER LINES
---U/G TELE---	U/G TELEPHONE LINES
---WATER---	U/G WATER LINE
---GAS---	U/G GAS LINE
---X---X---	FENCE
(C.M.)	CONTROLLING MONUMENT
SIR	5/8-INCH IRON ROD WITH "FOGUE ENG & DEV" CAP SET



Mitigated Trees	Category	Negative Tree Credits
8" Hercules Club	2 negative credits/inch	16 negative credits
16" Elm	6 negative credits/inch	96 negative credits
2-6" Elm	2 negative credits/inch	24 negative credits
6" Elm	2 negative credits/inch	12 negative credits
TOTAL	42" Caliper	TOTAL 148 negative credits

CAUTION!!! BEFORE YOU DIG...
 UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG.
 NATIONAL 811 DIGGING NUMBER
 TEXAS EXCAVATION SAFETY SYSTEM (TESS) 1-800-344-8377
 TEXAS ONE CALL SYSTEMS 1-800-245-4545
 LONE STAR NOTIFICATION CENTER 1-800-669-8344 EXT. 5
 NTHWD CONTACT LINE LOCATES 972-442-5405
 (IT IS THE CONTRACTOR'S RESPONSIBILITY FOR VERIFYING LOCATION & ELEVATION OF ALL EXISTING UTILITIES).
 NOTE: IF UTILITY RELOCATIONS ARE SCHEDULED, IN-PROGRESS OR COMPLETE, CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTOR & PROJECT MANAGER IMMEDIATELY IF FRANCHISE UTILITIES ARE FOUND TO BE IN CONFLICT WITH PROPOSED CONSTRUCTION.

BENCHMARK LIST:
 BENCHMARK #1
 CITY OF PLANO GPS POINT NO. 219 FOUND LOCATED IN THE CENTERLINE MEDIAN OF 14TH STREET 305± SOUTHWEST OF DUBLIN ROAD ELEVATION = 529.49
 BENCHMARK #2
 SQUARE CUT SET ON TOP OF CURB OF NORTH SIDE OF DRIVEWAY 60± NORTH OF SOUTHEAST CORNER OF THE SITE. ELEVATION = 549.99

FRANCHISE UTILITY NOTES:
 1. ONCOR ELECTRIC - (903) 888-8242 - MR. MARK BAILEY
 2. AT&T ENERGY (GAS) - (214) 733-5122 - MR. DAVID COOKER
 3. TIME WARNER CABLE - (972) 742-5892
 4. AT&T TELEPHONE - (972) 569-4760 - MR. KEITH HELM

NO.	DATE	REVISION / DESCRIPTION
DESIGN	DRAWN	DATE
PDS/TCC	TCC	08-29-2016

DEVELOPER
 JAIN ESTATES, LLC
 1331 TWIN KNOLL DRIVE
 MURPHY, TEXAS 75094
 MR. PANKAJ JAIN
 (201) 970-6273

PROJECT INFORMATION
 SMILES AT MURPHY OFFICE BUILDING
 A 1.3301 ACRE TRACT OF LAND IN THE MARY SCOTT SURVEY, A-859
 CITY OF MURPHY, TEXAS
 EXISTING ZONING: PD-14-04-975 (OFFICE)

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 PLAN PREPARED BY:
 COLE CAPPEL
 WESTWOOD PS
 2740 N. DALLAS PARKWAY #280
 PLANO TX 75093

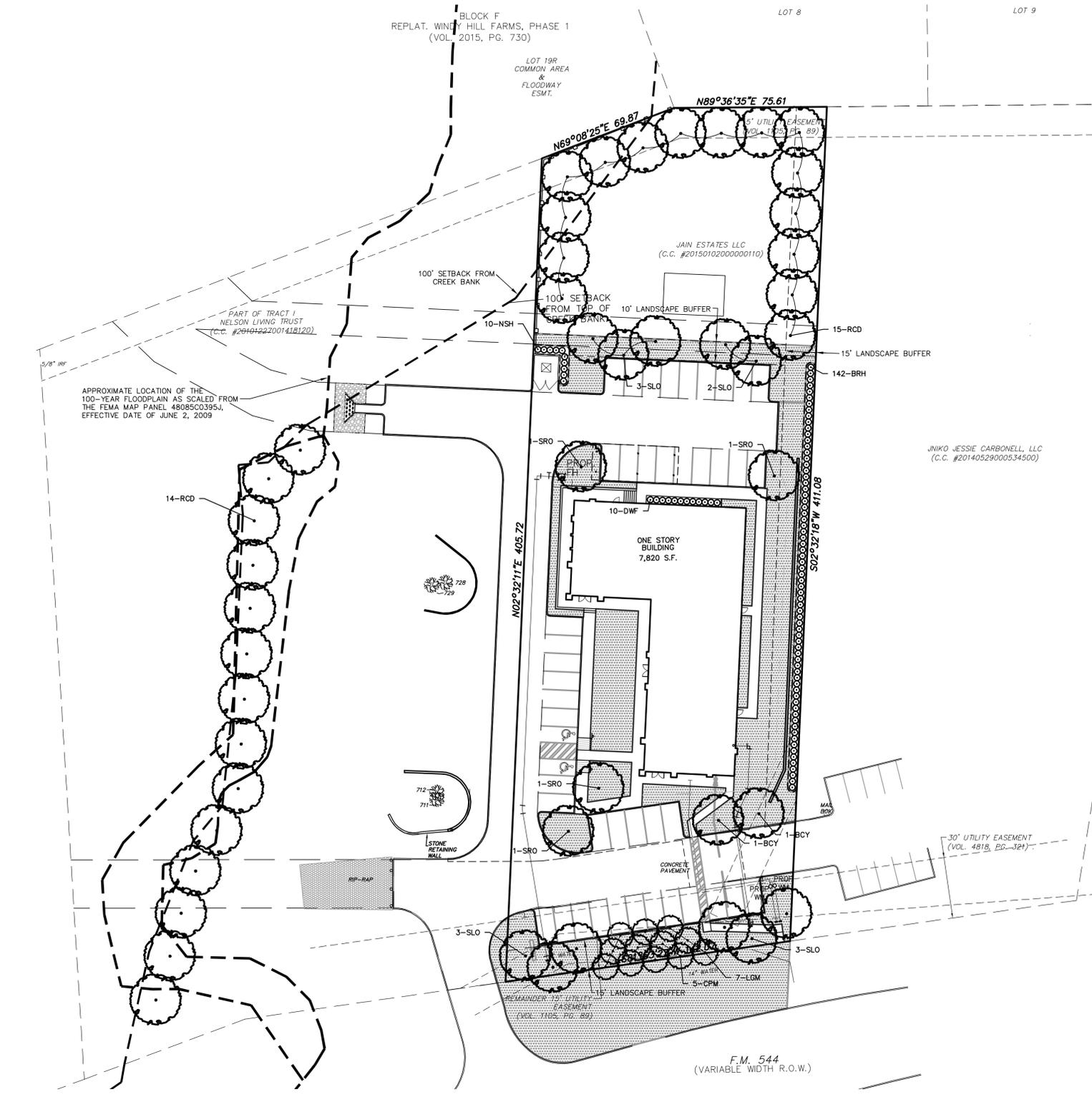
PPOGUE
 ENGINEERING & DEVELOPMENT COMPANY, INC.
 a division of **Westwood**
 1512 BRAY CENTRAL DRIVE SUITE 100 MCKINNEY, TEXAS 75069 TX BOARD PROF. ENGINEERS, CERT. #11756; TX BOARD PROF. LAND SURVEYING, CERT. 1007430
 (214) 437-4640 PHONE (888) 937-5150 TOLL FREE WWW.WESTWOODPS.COM

TREE PRESERVATION PLAN
 SMILES AT MURPHY OFFICE BUILDING
 A 1.3301 ACRE TRACT IN MARY SCOTT SURVEY, A-859
 CITY OF MURPHY, TEXAS

SHEET NO.
 L1.01

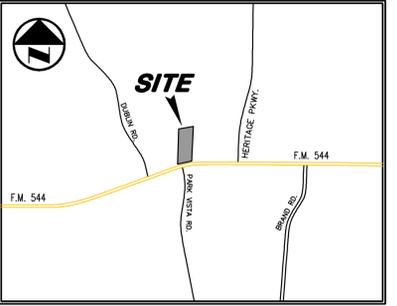
SMILES AT MURPHY OFFICE BUILDING

ANSAMUELSON 08/29/2016 - 11:00AM
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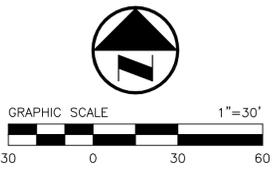


LANDSCAPE MAINTENANCE NOTE

THE PROPERTY OWNER, TENANT OR AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIALS NOT A PART OF THE LANDSCAPING. PLANT MATERIALS THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.



LEGEND table with symbols for BOLLARD, ELECTRIC METER, POWER POLE, LIGHT STANDARD, WATER METER, WATER VALVE, IRRIGATION CONTROL VALVE, FIRE HYDRANT, FIRE DEPARTMENT CONNECTION, CLEAN OUT, MANHOLE, GAS METER, TRAFFIC SIGNAL CONTROL, TRAFFIC SIGNAL POLE, TRAFFIC SIGN, TELEPHONE BOX, TV BOX, FLAG POLE, LANDSCAPE AREA, PROPERTY LINE, O.H. POWER LINES, U/G TELEPHONE LINES, U/G WATER LINE, U/G GAS LINE, FENCE, CONTROLLING MONUMENT, 5/8-INCH IRON ROD WITH 'FOGUE ENG & DEV' CAP SET.



GENERAL LANDSCAPE NOTES

- (1) Provide sod outside of property line out to the curb line to blend into existing sod, especially along south ROW and north of the 10' landscape buffer
(2) Provide and install full irrigation system sized to provide appropriate watering schedule per planting needs

Plant Schedule

Table with columns: CODE, QTY., COMMON/BOTANICAL NAME, SIZE/ROOT, SPACING O.C., NOTES. Includes categories for TREES - CANOPY (46), TREES - ORNAMENTAL (12), and SHRUBS (162).

NOTE: TOTAL TREES REQUIRED = 29 TOTAL TREES PROVIDED = 58 TOTAL SHRUBS REQUIRED = 152 TOTAL SHRUBS PROVIDED = 164

QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.

CITY OF MURPHY GENERAL LANDSCAPE NOTES

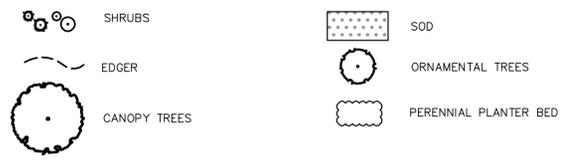
- (1) All nonpaved surfaces shall be completely covered with living plant material. Landscaping materials such as wood chips and gravel may be used under trees, shrubs and other plants, but shall not comprise a significant portion of the total pervious surface area.
(2) Plant materials shall conform to the standards of the approved plant list for the city (see section 26.09.002 for the approved plant list referenced in that section) and the current edition of the 'American Standard for Nursery Stock' (as amended), published by the American Association of Nurserymen. Grass seed, sod and other material shall be clean and reasonably free of weeds and noxious pests and insects.
(3) Trees shall have an average crown spread of greater than 15 feet at maturity. Trees having a lesser average mature crown of 15 feet may be substituted by grouping the same so as to create the equivalent of 15 feet of crown spread. Large trees shall be a minimum of three inches in caliper (measured four feet above the ground) and seven feet in height at time of planting. Small ornamental trees shall be a minimum of one and one-half inches in caliper and five feet in height at time of planting. All new trees shall be provided with a permeable surface under the dripline a minimum of five feet by five feet diameter.
(4) Shrubs not of a dwarf variety shall be a minimum of two feet in height when measured immediately after planting. Hedges, where installed for screening purposes, shall be planted and maintained so as to form a continuous 75 percent visual screen which will be at least six feet high within three years after time of planting, except for parking lot/tract/headlight screens, which shall form a continuous, solid visual screen three feet high within two years after planting.
(5) Grass areas shall be sodded, plugged, sprigged, hydro-mulched and/or seeded, except that solid sod shall be used in swales, earthen berms or other areas subject to erosion.
(6) All landscaped areas shall be equipped with an automatic underground irrigation system with freeze and moisture sensors to prevent watering at inappropriate times. Landscaped areas having less than ten square feet in area may be irrigated by some other inconspicuous method. The landscaping shall be required to be maintained in a healthy, living and growing condition, and any irrigation devices shall not be visible from public streets or walkways.

SUMMARY CHART - INTERIOR PARKING LOT LANDSCAPING table with rows for # OF PROVIDED PARKING SPACES, # OF REQUIRED INTERNAL TREES, # OF TOTAL PROVIDED INTERNAL TREES.

SUMMARY CHART - TOTAL LANDSCAPED AREA table with rows for TOTAL LOT AREA, REQUIRED % OF LOT LANDSCAPED, REQUIRED LANDSCAPED AREA, PROVIDED LANDSCAPE AREA, PROVIDED % OF LOT LANDSCAPED, MAX SOD AREA TO BE REPLACED BETWEEN PROJECT BOUNDARY AND SOUTH CURB = 5463 SF.

SUMMARY CHART - LANDSCAPE BUFFER table with columns for LOCATION, REQ/PROV, WIDTH, SHADE TREES, ORNAMENTAL TREES, SHRUBS.

Plant Legend



CAUTION!!! BEFORE YOU DIG... UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG.

BENCHMARK LIST: BENCHMARK #1 CITY OF PLANO GPS POINT NO. 219 FOUND LOCATED IN THE CENTERLINE MEDIAN OF 14TH STREET 305± SOUTHWEST OF DUBLIN ROAD ELEVATION = 529.49

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Table with columns: NO., DATE, REVISION / DESCRIPTION, DESIGN, DRAWN, DATE, W NUMBER.

DEVELOPER: JAIN ESTATES, LLC 1331 TWIN KNOLL DRIVE MURPHY, TEXAS 75094 MR. PANKAJ JAIN (201) 970-6273

PROJECT INFORMATION: SMILES AT MURPHY OFFICE BUILDING A 1.3301 ACRE TRACT OF LAND IN THE MARY SCOTT SURVEY, A-859 CITY OF MURPHY, TEXAS EXISTING ZONING: PD-14-04-975 (OFFICE)

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PPOGUE ENGINEERING & DEVELOPMENT COMPANY, INC. a division of Westwood (214) 437-4640 PHONE (888) 837-5150 TOLL FREE WWW.WESTWOODPS.COM

LANDSCAPE PLAN SMILES AT MURPHY OFFICE BUILDING A 1.3301 ACRE TRACT IN MARY SCOTT SURVEY, A-859 CITY OF MURPHY, TEXAS

SHEET NO. L1.02

LANDSCAPE SPECIFICATIONS

SECTION 02900

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

A. Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- 1. Planting (trees, shrubs, and grass)
2. Bed preparation and fertilization
3. Notification of sources
4. Water and Maintenance until final acceptance
5. Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) - plant material.
B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
C. Texas Association of Nurserymen, Grades and Standards.
D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

A. The Contractor shall, within ten (10) days following acceptance of bid, notify the Engineer/Architect/Owner of the sources of plant materials and bed preparation required for the project.

B. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.

C. Product Data: Submit complete product data and specifications on all other specified materials.

D. Submit three representative samples of each variety of ornamental trees, shrubs, and ground cover plants for Engineers/Architect's approval. When approved, tag, install, and maintain representative samples for final installed plant materials.

E. File Certificates of Inspection of plant material by state, county, and federal authorities with Architect/Engineer, if required.

F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect/Engineer.

1.5 JOB CONDITIONS

A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.

B. General Contractor shall provide topsoil as described in Section 02200 - Earthwork.

C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

Section 02900 - 01

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

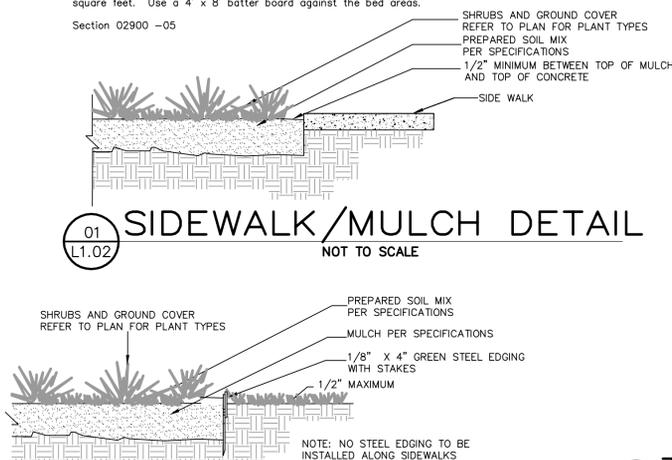
A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.

B. All planting areas shall be conditioned as follows:

- 1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six inches prior to fertilizer and compost application. Apply fertilizer as per manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the native soil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
2. All planting bed areas shall receive a two (2") inch layer of specified mulch.
3. Backfill for tree pits shall be as follows: Use existing topsoil on site, free from large clumps, rock, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
C. Grass Area:

- 1. Areas to be Solid Sod Bermuda grass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
2. Areas to be Hydromulch Common Bermuda grass: Hydromulch with Bermuda grass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

Section 02900 -05



LANDSCAPE SPECIFICATIONS (CONT)

1.6 MAINTENANCE AND GUARANTEE

A. Maintenance

- 1. The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, ground cover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
2. Maintenance shall include watering of trees and plants, cultivation, weeding, spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner and Landscape Contractor will be completed prior to written acceptance.
4. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.

B. GUARANTEE

- 1. Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and ground cover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
a. Plants used for replacement shall be of the same kind and size as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including nuts in lawn or be areas, incurred as a result of making replacements shall be immediately repaired.
b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and reinspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

- 2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
3. The above guarantee shall not apply where plants die after acceptance because of injury by storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a completed, undamaged condition, and there is a stand of grass in all lawn areas. At this time, the Owner will assume maintenance on the accepted work.

1.7 QUALITY ASSURANCE
A. General: Comply with applicable Federal, State, County, and Local regulations governing landscape materials and work.
B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full-time supervision by a qualified foreman acceptable to Landscape Architect/Engineer.
C. Selection of Plant Material:

- 1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
2. Landscape Architect/Engineer will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
3. Owner and/or Architect/Engineer shall inspect all plant materials, when reasonable, at place of growth for compliance with requirements for genus, species, cultivar/variety, size, and quality.
Section 02900 - 02

3.2 INSTALLATION

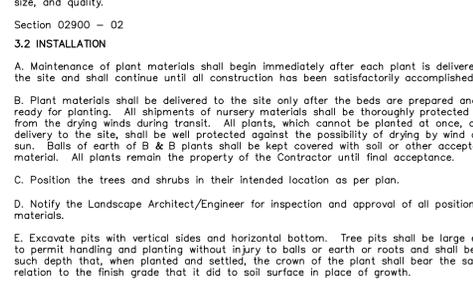
A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.

B. Plant materials shall be delivered to the site only after the beds are prepared and are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants, which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.

C. Position the trees and shrubs in their intended location as per plan.
D. Notify the Landscape Architect/Engineer for inspection and approval of all positioning of plant materials.
Section 02900 -06

E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls or earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relation to the finish grade that it did to soil surface in place of growth.

Section 02900 -07



Section 02900 -08

1.7 QUALITY ASSURANCE (CONT.)

C. Selection of Plant Material. (Cont)

- 4. Owner and/or Architect/Engineer retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
5. Owner and/or Architect/Engineer may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

A. Preparation:

1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.

2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

B. Delivery:

- 1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery.
2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
3. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
5. Notify Architect/Engineer of delivery schedule 72 hours in advance so plant material may be observed upon arrival at job site.
6. Remove rejected plant material immediately from site.
7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

A. General: Well formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Architect/Engineer and his decision as to their acceptability shall be final.

B. Quantities: the drawings and specifications are complimentary; anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.

C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well shaped, full branched, and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae and are to be of specimen quality.

D. Approval: All plant materials shall be subject to the approval of the Owner and/or Landscape Architect/Engineer. All plants which are found unsuitable in growth, or in any unhealthy, body shaped, or undersized condition, will be rejected by the Landscape Architect/Engineer, either before or after planting, and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.

E. Trees shall be healthy, full branched, well shaped, and shall meet the trunk diameter and height requirements of the plant schedule. Balled and Burlapped shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball.
a. Nomenclature conforms to customary nursery usage; for clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.

F. Pruning: All pruning of trees and shrubs, as directed by Landscape Architect/Engineer, shall be executed by Landscape Contractor at no additional cost to the Owner.

Section 02900-03

3.2 INSTALLATION (cont.)

F. Shrub and tree pits shall be no less than two (2") feet, twenty-four (24") inches wider than the lateral dimension of earth ball and six (6") inches deeper than its vertical dimension. Remove and haul from site all rocks or stones over one (1") inches in diameter. Plants should be thoroughly moist before removing containers.

G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.

H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to be moved to another location or have pier hole drainage added.

I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top 1/3 of the ball, as well as all nylon, plastic string and wire mesh. Container trees will usually be pot bound, if so follow standard nursery practice of "soil soring".

J. Do not wrap trees.

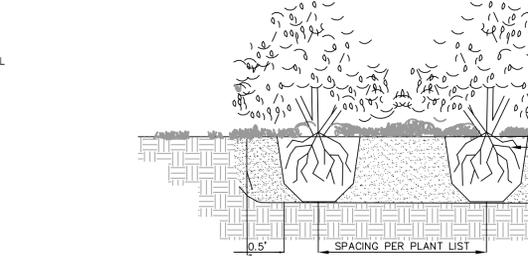
K. Do not over prune.

L. Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball unplanted and mulch with at least two (2") inches of specified mulch.

M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.

N. Obstruction below ground: In the event rock or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3) feet below grade and no less than six (6") inches below bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.

Section 02900 - 07



2.2 SOIL PREPARATION MATERIALS

A. Sandy Loam:

- 1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dolomitic or Nutgrass shall be rejected.
2. Physical properties as follows: Clay-between 7-27 percent Silt-between 15-25 percent Sand-less than 52 percent
3. Organic matter shall be 3% - 10% of total dry weight.
4. If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.

B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of coarse, fine textured material.

C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas: Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.

D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.

E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown, Living Earth Technologies or approved equal.

F. Organic Fertilizer: Fertillid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.

G. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulfur and 4% iron, plus micronutrients.

H. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

A. Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4" on center.

B. Staking Material for Shade Trees:

- 1. Post: Studded T-Post, no.1 Armo with anchor plate; 6'-0" length; point black
2. Wire: 12 gauge, single strand, galvanized wire.
3. Rubber hose: 2 ply, fiber reinforced hose, minimum 2 inch inside diameter. Color:Black

C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.

D. Filter Fabric: Mirafil 140N by Celanese Fibers Marketing Company, Available at Loftland Co., (214) 631-5250 or approved equal.

Section 02900 - 04

3.2 INSTALLATION (cont.)

O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure tree against seasonal prevailing winds.

P. Pruning and Mulching: Each area shall be pruned in accordance with standard horticultural practice to preserve the natural character of the plant and in the manner fitting its use in the landscape design.

- 1. Dead wood or suckers and broken or badly bruised branches shall be removed; general tipping of all branches is not permitted.
2. Pruning shall be done with clean sharp tools.
3. Immediately after planting operations are completed, all tree pits shall be covered with a layer of specified mulch two (2") inches in depth. This limit of the specified mulch for trees shall be the diameter of the plant pit.

Q. Steel Curbing Installation:

- 1. Curbing shall be aligned as indicated on plans.
2. All steel curbing shall be free of kinks or abrupt bends.
3. Top of curbing shall be 3/4" maximum higher than existing grade.
4. Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
5. Do not install steel edging along sidewalks.
6. Cut steel edging at 45 degree angle where edging meets sidewalk.

3.3 CLEANUP AND ACCEPTANCE

A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each day's work.

END OF SECTION

Section 02900 - 08

EXISTING TREE NOTES

Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around dripline (canopy) of tree.

If any root structure is damaged during adjacent excavation/construction, notify the Architect/Engineer immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.

No disturbance of the soil greater than 4" shall be located closer to the tree trunk than ? the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.

Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.

Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the dripline of any tree.

Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be deposited within the limits of the dripline of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.

Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.

Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the dripline of trees.

Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48") inches.

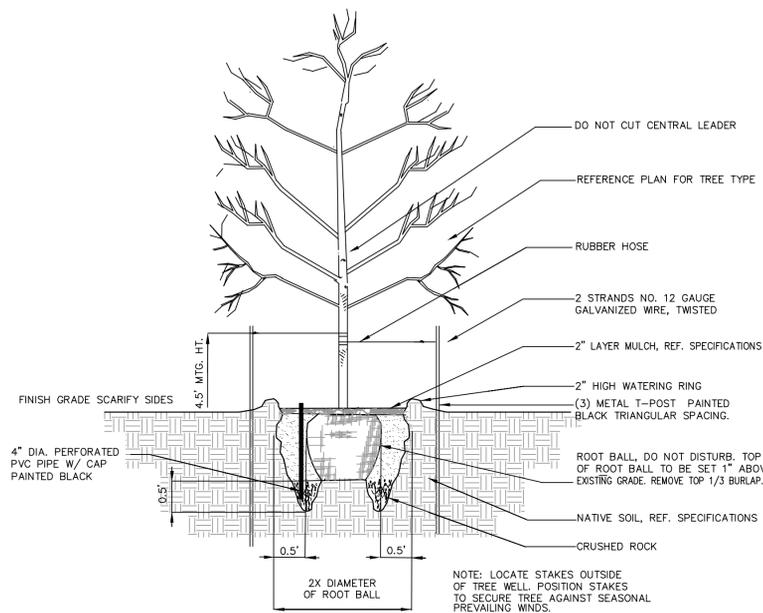
Trenching: Any irrigation trenching that must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.

Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (3" width) wrapped around the main trunk at a height of four (4") feet above grade. Flagging shall be approved by Landscape Architect/Engineer prior to any tree removal. Contractor shall contact Landscape Architect/Engineer with 72 hour notice to schedule on-site meeting.

Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4') foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).

Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree's trunk with lumber encircled with wire or other means that does not damage the tree. Refer to Tree Protection Detail(s).

Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect/Engineer immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect/Engineer.



05 L1.02 TREE PLANTING DETAIL NOT TO SCALE

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SMILES AT MURPHY OFFICE BUILDING

Table with 4 columns: NO., DATE, REVISION / DESCRIPTION, W NUMBER. Includes rows for DESIGN, DRAWN, DATE, and W NUMBER.

DEVELOPER: JAIN ESTATES, LLC, 1331 TWIN KNOLL DRIVE, MURPHY, TEXAS 75094. PROJECT INFORMATION: SMILES AT MURPHY OFFICE BUILDING, A 1.3301 ACRE TRACT OF LAND IN THE MARY SCOTT SURVEY, A-859, CITY OF MURPHY, TEXAS. EXISTING ZONING: PD-14-04-975 (OFFICE).

THIS DOCUMENT IS RELEASED FOR THE PURPOSES OF INTERIM REVIEW ON 08-17-16. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.

PLAN PREPARED BY: COLE CAPPE, WESTWOOD PS, 2740 N. DALLAS PARKWAY #280, PLANO TX 75093.

Logo for PPOGUE ENGINEERING & DEVELOPMENT COMPANY, INC. A division of Westwood. Address: 1512 BRAY CENTRAL DRIVE, SUITE 100, MCKINNEY, TEXAS 75069. Phone: (214) 437-4640, (888) 937-5150.

LANDSCAPE DETAILS & SPECIFICATIONS. SMILES AT MURPHY OFFICE BUILDING, A 1.3301 ACRE TRACT IN MARY SCOTT SURVEY, A-859, CITY OF MURPHY, TEXAS. SHEET NO. L1.03. DWG NO: 0008645\00.dwg



Dustin Rd

Gar Co (Tair Enterprises)

East Plano Murphy Pet Hospital

East Plano Murphy Animal Hospital

W Farm to Market Rd 544

14th St

14th St

544



Issue

Consider and/ or act on the application of Pogue Engineering, a division of Westwood, requesting approval of a site plan, landscape plan, building elevations and construction plat for Smiles at Murphy on property located on West FM 544, just west of Heritage Parkway to build a 7,820 square foot building for medical offices uses.

Staff Resource/Department

Kelly Carpenter, AICP, Interim Director of Economic and Community Development
Tina Stelnicki, Community Development Coordinator

Summary

This is a request for approval of a site plan, landscape plan, building elevations and construction plat for Smiles at Murphy on property located on West FM 544, just west of Heritage Parkway to build a 7,820 square foot building for medical offices uses. In order to approve the construction plat, two variances will be needed: landscape variance for 14 trees to be mitigated and engineering variance to address off-site drainage.

Other Considerations

If the variances are not approved, then the site plan, landscape plan and construction plat do not meet the minimum requirements of the Murphy Code. Written release is required from all existing easement holders prior to construction. There is an NTMWD easement along FM 544 from whom applicant will also so require clearance. An easement for a 15 foot drainage easement crossing this project for the parcel on the east of this parcel shall be provided

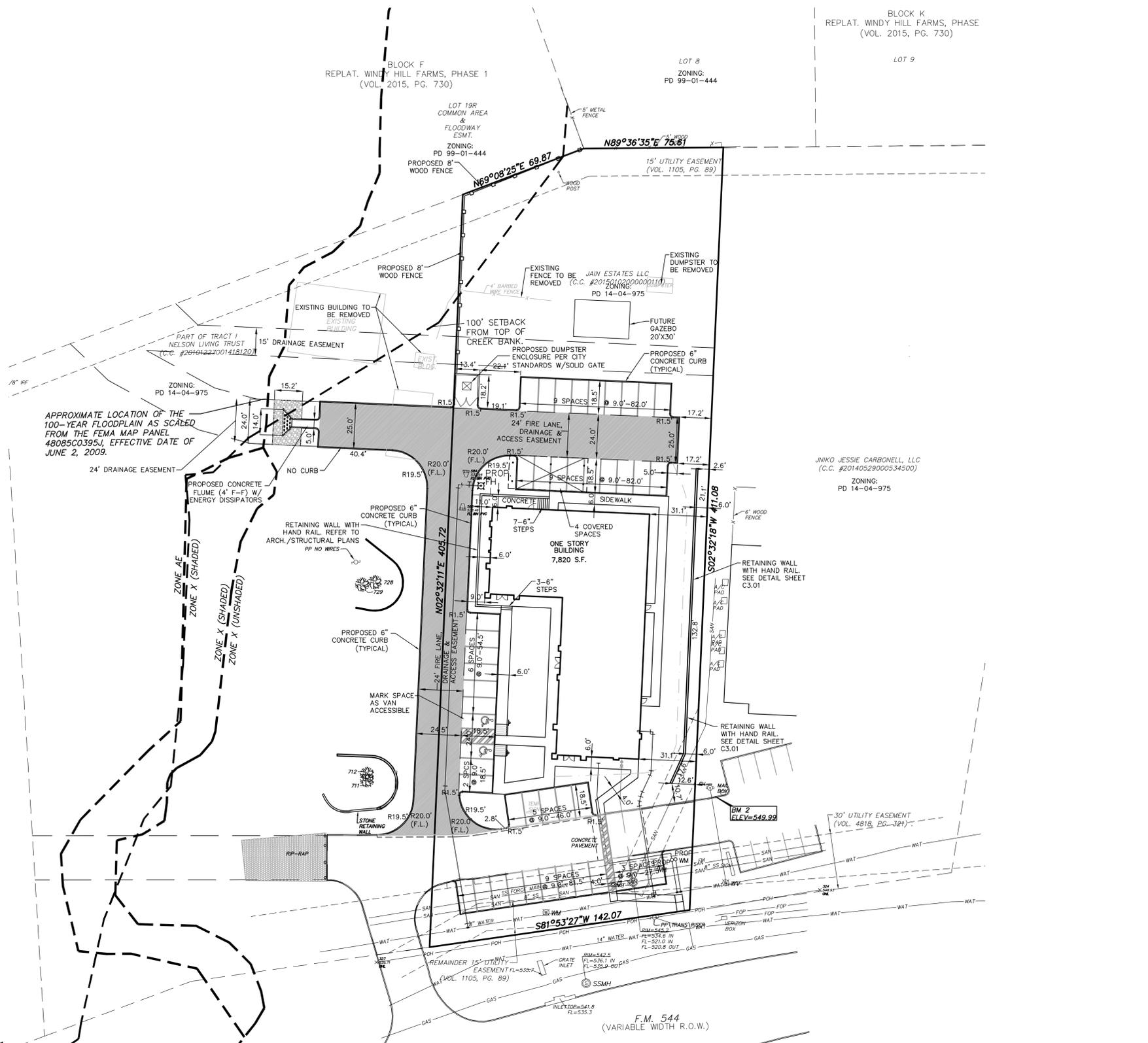
Action Requested

Approve the Construction Plat, site plan, landscape plan and building elevations provided that the landscape and engineering variances are approved by the Planning and Zoning Commission.

Attachments

Site Plan
Landscape Plan
Building Elevations
Construction Plat

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BLOCK K
 REPLAT. WINDY HILL FARMS, PHASE
 (VOL. 2015, PG. 730)

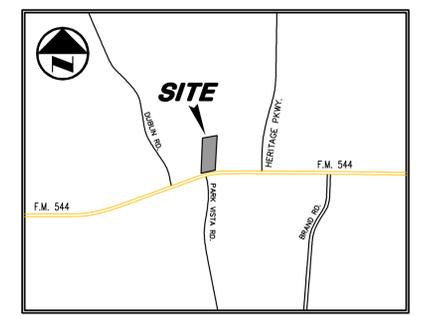
BLOCK F
 REPLAT. WINDY HILL FARMS, PHASE 1
 (VOL. 2015, PG. 730)

LOT 8
 ZONING:
 PD 99-01-444

LOT 9

APPROXIMATE LOCATION OF THE
 100-YEAR FLOODPLAIN AS SCALED
 FROM THE FEMA MAP PANEL
 48085C0395J, EFFECTIVE DATE OF
 JUNE 2, 2009.

JINIKO JESSIE CARBONELL, LLC
 (C.C. #20140529000534500)
 ZONING:
 PD 14-04-975



VICINITY MAP
 NOT TO SCALE



LEGEND

- B. BOLLARD
- EM. ELECTRIC METER
- PP. POWER POLE
- LS. LIGHT STANDARD
- WM. WATER METER
- WV. WATER VALVE
- ICV. IRRIGATION CONTROL VALVE
- FH. FIRE HYDRANT
- FDC. FIRE DEPARTMENT CONNECTION
- CO. CLEAN OUT
- MH. MANHOLE
- GM. GAS METER
- TSC. TRAFFIC SIGNAL CONTROL
- TSP. TRAFFIC SIGNAL POLE
- SIG. TRAFFIC SIGN
- TELE. TELEPHONE BOX
- TV. TV BOX
- FP. FLAG POLE
- L.A. LANDSCAPE AREA
- PROPERTY LINE
- O.H. O.H. POWER LINES
- U/G TELE. U/G TELEPHONE LINES
- WATER. U/G WATER LINE
- GAS. U/G GAS LINE
- FENCE
- (C.M.) CONTROLLING MONUMENT
- SIR 5/8-INCH IRON ROD WITH "FOGUE ENG & DEV" CAP SET
- FIRE LANE

SITE DATA SUMMARY

ITEM	LOT 2
ZONING:	PD-14-04-975 (Office)
PROPOSED USE:	MEDICAL OFFICE
TOTAL LOT AREA:	1.33 AC.
TOTAL BUILDING AREA:	7,820 S.F.
BUILDING HEIGHT:	27'-0" (1-STORY)
LOT COVERAGE:	13.5%
PROPOSED FAR:	0.13
PARKING REQUIRED:	40 SPACES
GENERAL OFFICE	0 SPACES
MEDICAL OFFICE (1/200)	40 SPACES
PARKING PROVIDED:	45 SPACES
HANDICAP PARKING REQUIRED:	2 SPACES
HANDICAP PARKING PROVIDED:	2 SPACES

NOTE:
 ALL DIMENSIONS ARE FROM BACK OF CURB TO
 BACK OF CURB, UNLESS OTHERWISE NOTED.

ADA ROUTE
 NOTE:
 MAXIMUM SLOPE FOR ALL
 ADA PATHS 5% MAX. GROSS
 FALL IS 2% FOR THE FIRST
 FIVE FOOT FROM THE DOOR
 A 2% SLOPE (MAX.) MUST BE
 MAINTAINED

NOTE:
 OFF-SITE PAVING, GRADING, DRAINAGE,
 AND EROSION CONTROL IMPROVEMENTS TO
 BE APPROVED BY ADJACENT PROPERTY
 OWNER VIA A LETTER OF PERMISSION.

CAUTION!!! BEFORE YOU DIG...
 UNDERGROUND UTILITIES ARE LOCATED IN
 THIS AREA. 48 HOURS PRIOR TO ANY
 CONSTRUCTION ACTIVITIES, CONTACT LINE
 LOCATES FOR FRANCHISE UTILITY INFO. CALL
 BEFORE YOU DIG.
 NATIONAL 811 DIGGING NUMBER
 TEXAS EXCAVATION SAFETY SYSTEM (TESS) 1-800-344-8377
 TEXAS ONE CALL SYSTEMS 1-800-245-4545
 LONE STAR NOTIFICATION CENTER 1-800-669-8344 EXT. 5
 NTHWD CONTACT LINE LOCATES 972-442-5405
 (IT IS THE CONTRACTORS RESPONSIBILITY FOR VERIFYING
 LOCATION & ELEVATION OF ALL EXISTING UTILITIES).
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 OR COMPLETE, CONTRACTOR SHALL NOTIFY THE CONSTRUCTION
 INSPECTOR & PROJECT MANAGER IMMEDIATELY IF FRANCHISE
 UTILITIES ARE FOUND TO BE IN CONFLICT WITH PROPOSED
 CONSTRUCTION.

BENCH MARK LIST:
 BENCHMARK #1
 TEXAS EXCAVATION SAFETY SYSTEM (TESS) POINT NO. 219 FOUND LOCATED IN THE
 CITY OF PLANO GPS POINT NO. 219 FOUND LOCATED IN THE
 CENTERLINE MEDIAN OF 14TH STREET 305'± SOUTHWEST OF DUBLIN
 ROAD ELEVATION = 529.49
 BENCHMARK #2
 SQUARE CUT SET ON TOP OF CURB OF NORTH SIDE OF DRIVEWAY 60'±
 NORTH OF SOUTHEAST CORNER OF THE SITE.
 ELEVATION = 549.99

FRANCHISE UTILITY NOTES:
 1. ONCOR ELECTRIC - (903) 868-8242 - MR. MARK BAILEY
 2. ATMOS ENERGY (GAS) - (214) 733-5122 - MR. DAVID COKER
 3. TIME WARNER CABLE - (972) 742-5892
 4. AT&T TELEPHONE - (972) 569-4760 - MR. KEITH HELM

DEVELOPER
 JAIN ESTATES, LLC
 1331 TWIN KNOLL DRIVE
 MURPHY, TEXAS 75094
 MR. PANKAJ JAIN
 (201) 970-6273

PROJECT INFORMATION
 SMILES AT MURPHY OFFICE BUILDING
 A 1.3301 ACRE TRACT OF LAND IN
 THE MARY SCOTT SURVEY, A-859
 CITY OF MURPHY, TEXAS
 EXISTING ZONING: PD-14-04-975 (OFFICE)

THIS DOCUMENT IS RELEASED FOR THE PURPOSE
 OF INTERIM REVIEW UNDER THE AUTHORITY OF ARLYN W.
 SAMUELSON, P.E. 95871 ON 08-29-2016. IT IS
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 Engineer: ARLYN W. SAMUELSON, P.E.
 P.E. No.: 95871
 Date: 08-29-2016

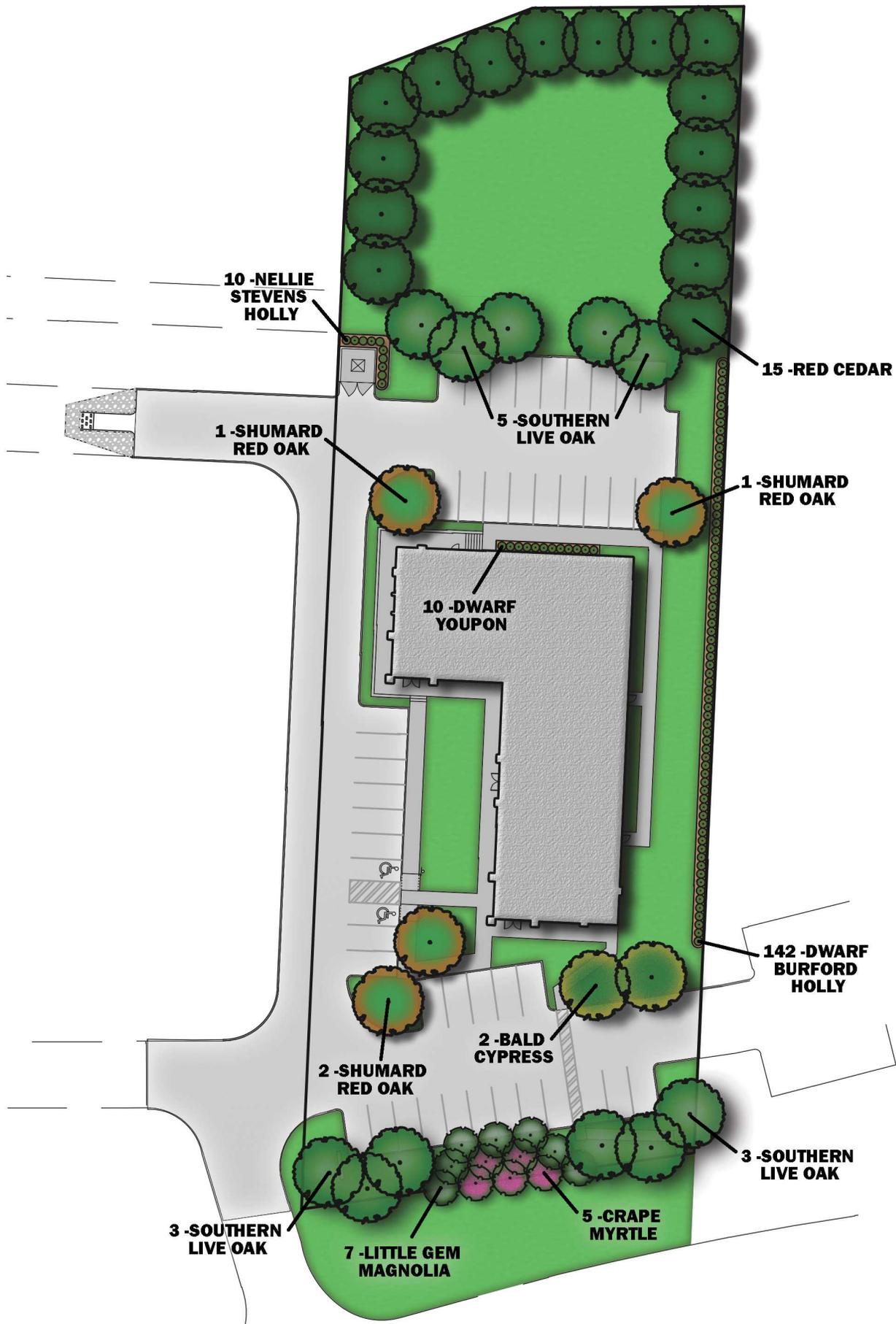
POGUE
 ENGINEERING & DEVELOPMENT COMPANY, INC.
 a division of **Westwood**
 1512 BRAY CENTRAL DRIVE
 SUITE 100
 MCKINNEY, TEXAS 75069
 TX BOARD PROF. ENGINEERS, CERT. #11756; TX BOARD PROF. LAND SURVEYING, CERT. 1007430
 (214) 437-4640 PHONE
 (888) 937-5150 TOLL FREE
 WWW.WESTWOODPS.COM

SITE PLAN
 SMILES AT MURPHY OFFICE BUILDING
 A 1.3301 ACRE TRACT IN
 MARY SCOTT SURVEY, A-859
 CITY OF MURPHY, TEXAS

SHEET
 NO.
 C1.01

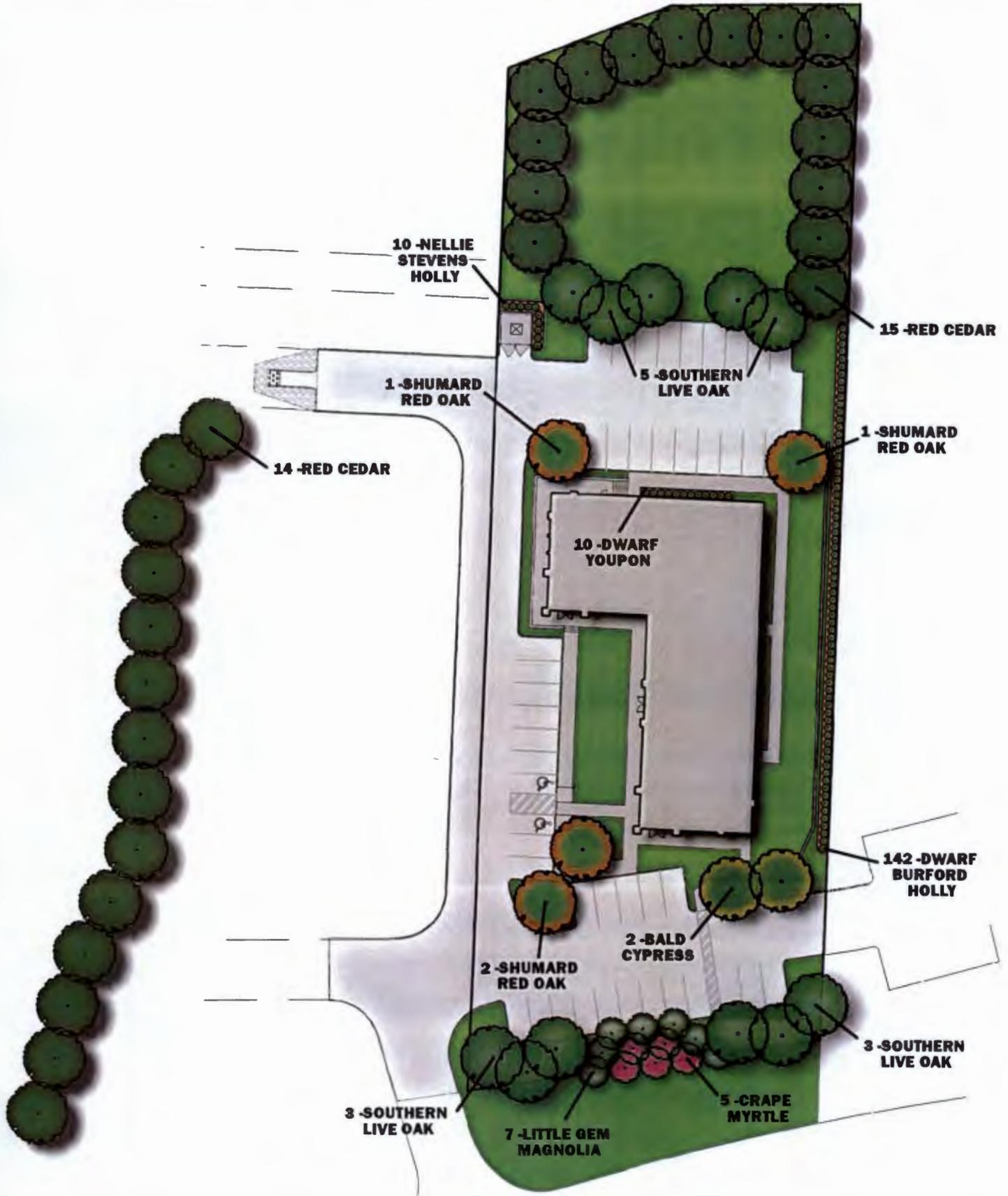
SMILES AT MURPHY LANDSCAPING

MURPHY, TX

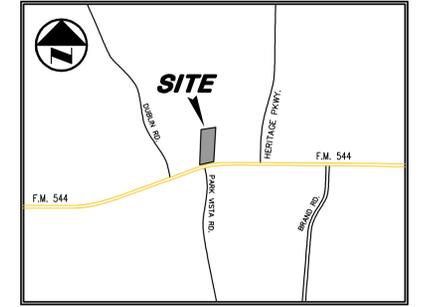
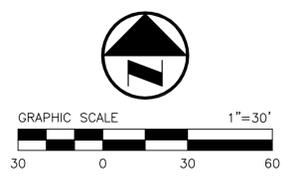
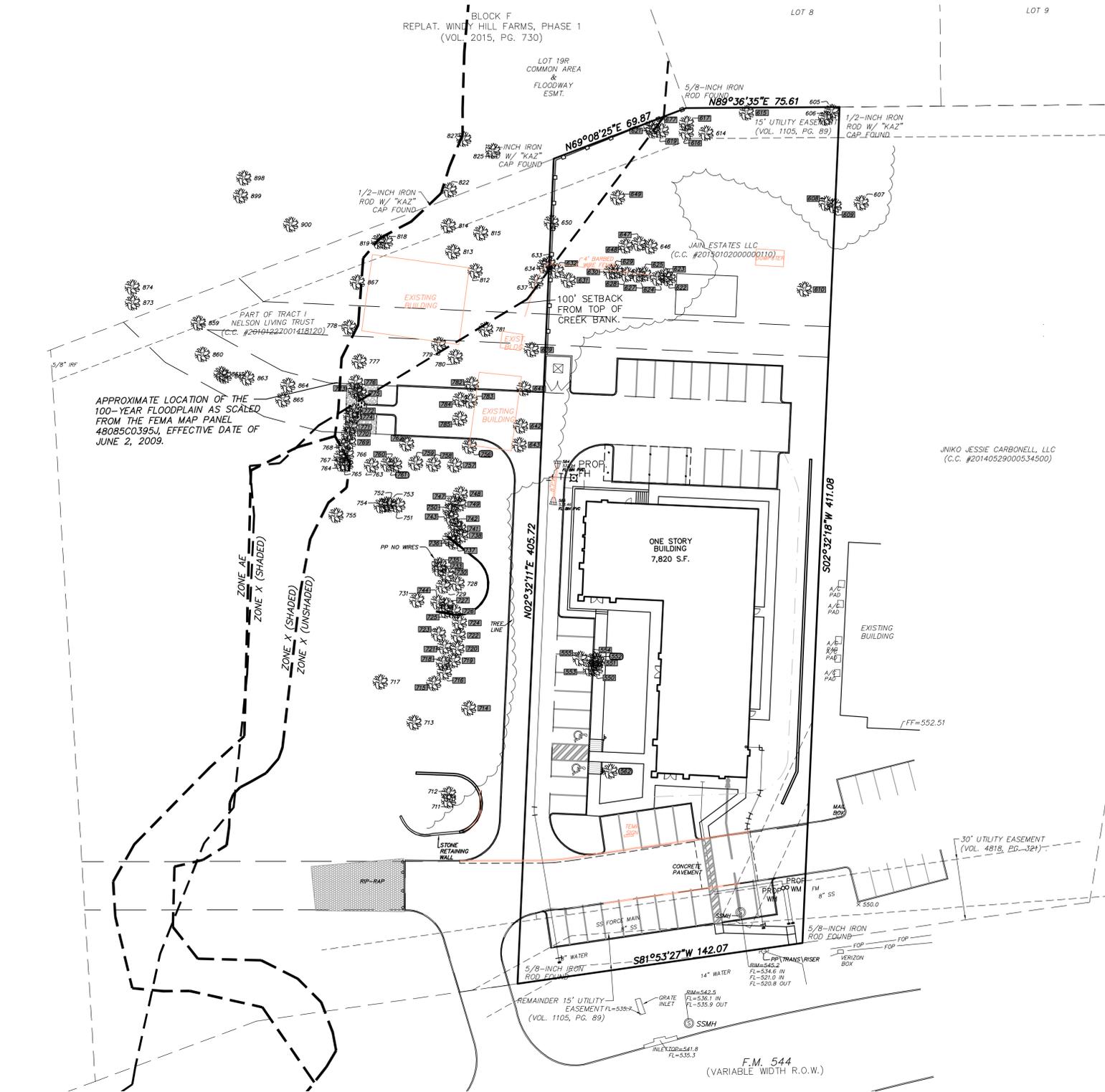


SMILES AT MURPHY LANDSCAPING

MURPHY, TX



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VICINITY MAP
NOT TO SCALE

Point #	Description	Point #	Description	Point #	Description	Point #	Description
550	6" HACKBERRY	650	12" ELM	755	12" ELM	859	10" ELM
551	10" HACKBERRY	677	2-10" HACKBERRY	756	2-6" ELM	860	5-6" ELM
552	8" HERCULES CLUB	711	28" PECAN	757	18" HACKBERRY	861	3-6" ELM
553	12" HACKBERRY	712	8" ELM	758	10" BOIS D'ARC	862	8" ELM
554	36" BOIS D'ARC	713	6" HERCULES CLUB	759	2-8" HACKBERRY	863	8" ELM
555	8" HACKBERRY	714	2-16" HACKBERRY	760	6" HACKBERRY	864	18" ELM
556	16" ELM	715	6" HACKBERRY	761	6" ELM	865	10" BOIS D'ARC
605	36" PECAN	716	6" HACKBERRY	762	2-6" BOIS D'ARC	867	8" ELM
606	28" PECAN	717	8" BOIS D'ARC	763	2-10" HACKBERRY	873	24" PECAN
607	12" BOIS D'ARC	718	8" HACKBERRY	764	2-10" HACKBERRY	874	36" COTTONWOOD
608	12" BOIS D'ARC	719	12" HACKBERRY	765	6" ELM	898	12" HACKBERRY
609	14" HACKBERRY	720	12" HACKBERRY	766	12" HACKBERRY	899	6" ELM
610	3-10" HACKBERRY	721	6" HACKBERRY	767	6" HACKBERRY	900	2-6" ELM
614	10" ELM	722	8" HACKBERRY	768	6" HACKBERRY		
615	2-12" BOIS D'ARC	723	8" HACKBERRY	769	6" HACKBERRY		
616	6" HACKBERRY	724	36" BOIS D'ARC	770	6" HACKBERRY		
617	6" HACKBERRY	725	8" HACKBERRY	771	12" HACKBERRY		
618	6" BOIS D'ARC	726	6" HACKBERRY	772	12" HACKBERRY		
619	2-10" HACKBERRY	727	6" HACKBERRY	773	12" HACKBERRY		
620	3-6" HACKBERRY	728	24" ELM	774	6" HACKBERRY		
621	6" HACKBERRY	729	10" ELM	775	12" HACKBERRY		
622	12" HACKBERRY	730	12" HACKBERRY	776	8" HACKBERRY		
623	6" HACKBERRY	731	8" HACKBERRY	777	12" ELM		
624	12" HACKBERRY	732	12" HACKBERRY	778	36" BOIS D'ARC		
625	12" HACKBERRY	733	8" HACKBERRY	779	12" HACKBERRY		
626	12" HACKBERRY	734	10" HACKBERRY	780	6" HACKBERRY		
627	12" HACKBERRY	735	6" HACKBERRY	781	40" PECAN		
628	12" HACKBERRY	736	12" HACKBERRY	782	6" BOIS D'ARC		
629	12" HACKBERRY	737	12" HACKBERRY	783	6" HACKBERRY		
630	12" HACKBERRY	738	12" HACKBERRY	784	6" BOIS D'ARC		
631	12" HACKBERRY	739	2-10" HACKBERRY	785	6" BOIS D'ARC		
632	6" HACKBERRY	740	14" HACKBERRY	786	6" BOIS D'ARC		
633	24" ELM	741	12" HACKBERRY	787	6" BOIS D'ARC		
634	12" HACKBERRY	742	14" HACKBERRY	788	6" BOIS D'ARC		
635	6" HACKBERRY	743	12" HACKBERRY	789	6" BOIS D'ARC		
636	10" BOIS D'ARC	744	12" HACKBERRY	790	6" HACKBERRY		
637	10" BOIS D'ARC	745	14" HACKBERRY	791	6" HACKBERRY		
638	24" HACKBERRY	746	14" HACKBERRY	792	12" ELM		
639	4-12" HACKBERRY	747	6" HACKBERRY	793	12" ELM		
640	18" HACKBERRY	748	6" HACKBERRY	794	12" ELM		
641	6" PECAN	749	6" HACKBERRY	795	6" ELM		
642	12" BOIS D'ARC	750	6" HACKBERRY	796	6" ELM		
643	12" BOIS D'ARC	751	6" HACKBERRY	797	24" BOIS D'ARC		
644	12" BOIS D'ARC	752	6" HACKBERRY	798	2-12" BOIS D'ARC		
645	3-12" BOIS D'ARC	753	10" HACKBERRY	799	18" PECAN		
646		754	6" BOIS D'ARC	800			

LEGEND

B	BOLLARD
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LS	LIGHT STANDARD
WM	WATER METER
WV	WATER VALVE
ICV	IRRIGATION CONTROL VALVE
FDH	FIRE HYDRANT
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---WATER---	U/G WATER LINE
---GAS---	U/G GAS LINE
---X---X---	FENCE
(C.M.)	CONTROLLING MONUMENT
SIR	5/8-INCH IRON ROD WITH "FOGUE ENG & DEV" CAP SET



Mitigated Trees	Category	Negative Tree Credits
8" Hercules Club	2 negative credits/inch	16 negative credits
16" Elm	6 negative credits/inch	96 negative credits
2-6" Elm	2 negative credits/inch	24 negative credits
6" Elm	2 negative credits/inch	12 negative credits
TOTAL	42" Caliper	TOTAL 148 negative credits

CAUTION!!! BEFORE YOU DIG...
 UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG.
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BENCHMARK LIST:
 BENCHMARK #1
 CITY OF PLANO GPS POINT NO. 219 FOUND LOCATED IN THE CENTERLINE MEDIAN OF 14TH STREET 305± SOUTHWEST OF DUBLIN ROAD ELEVATION = 529.49
 BENCHMARK #2
 SQUARE CUT SET ON TOP OF CURB OF NORTH SIDE OF DRIVEWAY 60± NORTH OF SOUTHEAST CORNER OF THE SITE. ELEVATION = 549.99

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 4. AT&T TELEPHONE - (972) 569-4760 - MR. KEITH HELM

NO.	DATE	REVISION / DESCRIPTION
DESIGN	DRAWN	DATE
PDS/TCC	TCC	08-29-2016

DEVELOPER
 JAIN ESTATES, LLC
 1331 TWIN KNOLL DRIVE
 MURPHY, TEXAS 75094
 MR. PANKAJ JAIN
 (201) 970-6273

PROJECT INFORMATION
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 A 1.3301 ACRE TRACT OF LAND IN THE MARY SCOTT SURVEY, A-859
 CITY OF MURPHY, TEXAS
 EXISTING ZONING: PD-14-04-975 (OFFICE)

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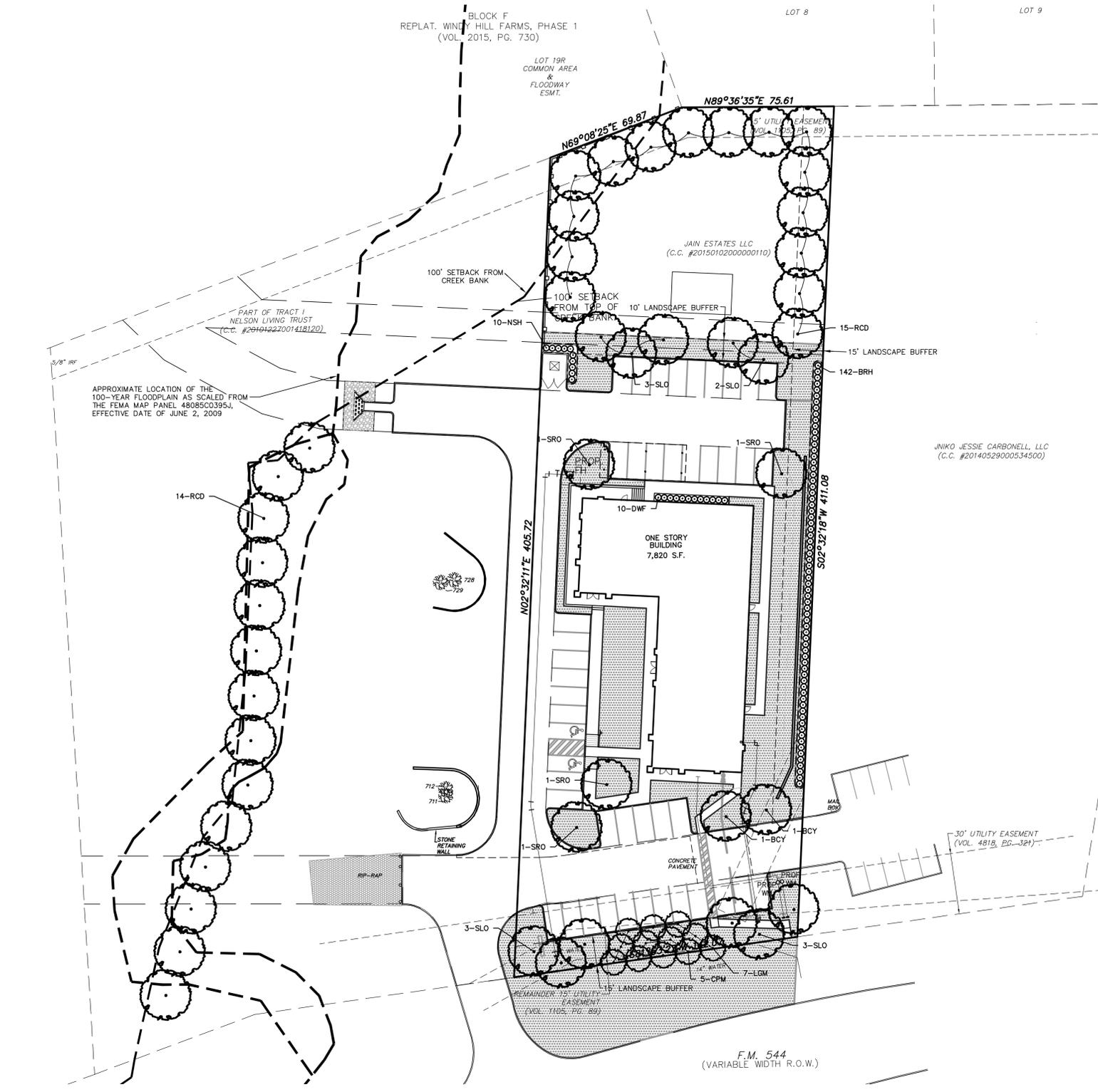
PRELIMINARY FOR INTERIM REVIEW ONLY NOT TO BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.
 PLAN PREPARED BY:
 COLE CAPPEL
 WESTWOOD PS
 2740 N. DALLAS PARKWAY #280
 PLANO TX 75093

PPOGUE
 ENGINEERING & DEVELOPMENT COMPANY, INC.
 a division of **Westwood**
 1512 BRAY CENTRAL DRIVE SUITE 100 MCKINNEY, TEXAS 75069 TX BOARD PROF. ENGINEERS, CERT. #11756; TX BOARD PROF. LAND SURVEYING, CERT. 1007430
 (214) 437-4640 PHONE (888) 937-5150 TOLL FREE WWW.WESTWOODPS.COM

TREE PRESERVATION PLAN
 SMILES AT MURPHY OFFICE BUILDING
 A 1.3301 ACRE TRACT IN MARY SCOTT SURVEY, A-859
 CITY OF MURPHY, TEXAS

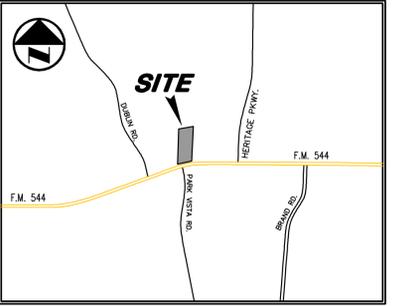
SHEET NO.
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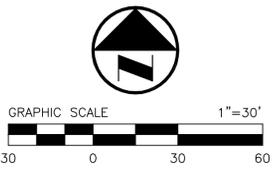
LANDSCAPE MAINTENANCE NOTE

THE PROPERTY OWNER, TENANT OR AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIALS NOT A PART OF THE LANDSCAPING. PLANT MATERIALS THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.



LEGEND

B	BOLLARD
EM	ELECTRIC METER
PP	POWER POLE
LS	LIGHT STANDARD
WM	WATER METER
WV	WATER VALVE
ICV	IRRIGATION CONTROL VALVE
FH	FIRE HYDRANT
FDC	FIRE DEPARTMENT CONNECTION
CO	CLEAN OUT
MH	MANHOLE
GM	GAS METER
TSC	TRAFFIC SIGNAL CONTROL
TSP	TRAFFIC SIGNAL POLE
TS	TRAFFIC SIGN
TELE	TELEPHONE BOX
TV	TV BOX
FP	FLAG POLE
L.A.	LANDSCAPE AREA
---	PROPERTY LINE
---	O.H. POWER LINES
---	U/G TELEPHONE LINES
---	U/G WATER LINE
---	U/G GAS LINE
-X-X-	FENCE
(C.M.)	CONTROLLING MONUMENT
SIR	5/8-INCH IRON ROD WITH "FOGUE ENG & DEV" CAP SET



GENERAL LANDSCAPE NOTES

- Provide sod outside of property line out to the curb line to blend into existing sod, especially along south ROW and north of the 10' landscape buffer
- Provide and install full irrigation system sized to provide appropriate watering schedule per planting needs

Plant Schedule

CODE	QTY.	COMMON/BOTANICAL NAME	SIZE/ROOT	SPACING O.C.	NOTES
TREES - CANOPY 46					
SLO	11	SOUTHERN LIVE OAK / QUERCUS VIRGINIANA	3" CAL./B&B	AS SHOWN	7' HT. MIN.
SRO	4	SHUMARD RED OAK / QUERCUS SHUMARDI	5" CAL./B&B	AS SHOWN	7' HT. MIN.
BCY	2	BALD CYPRESS / TAXODIUM DISTICHUM VAR. DISTICHUM	5" CAL./B&B	AS SHOWN	7' HT. MIN.
RCD	29	RED CEDAR / JUNIPERUS VIRGINIANA	3" CAL./B&B	AS SHOWN	
TREES - ORNAMENTAL 12					
CPM	5	CRAPE MYRTLE / LAGERSTROEMIA INDICA	1.5" CAL./B&B	AS SHOWN	
LGM	7	LITTLE GEM MAGNOLIA / MAGNOLIA GRANDIFLORA 'LITTLE GEM'	1.5" CAL./B&B	AS SHOWN	
SHRUBS 162					
BRH	142	DWARF BURFORD HOLLY / ILEX CORNUTA 'BURFORDII NANA'	4" HT./ 5 GAL	AS SHOWN	
DWF	10	DWARF YOUNGON / ILEX VOMITORIA NANA	4" HT./ 5 GAL	AS SHOWN	
NSH	10	NELLIE STEVENS HOLLY / ILEX X. 'NELLIE STEVENS'	4" HT./ 5 GAL	AS SHOWN	

NOTE: TOTAL TREES REQUIRED = 29 TOTAL SHRUBS REQUIRED = 152
 TOTAL TREES PROVIDED = 58 TOTAL SHRUBS PROVIDED = 164

QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.

CITY OF MURPHY GENERAL LANDSCAPE NOTES

- All nonpaved surfaces shall be completely covered with living plant material. Landscaping materials such as wood chips and gravel may be used under trees, shrubs and other plants, but shall not comprise a significant portion of the total pervious surface area.
- Plant materials shall conform to the standards of the approved plant list for the city (see section 26.09.002 for the approved plant list referenced in that section) and the current edition of the 'American Standard for Nursery Stock' (as amended), published by the American Association of Nurserymen. Grass seed, sod and other material shall be clean and reasonably free of weeds and noxious pests and insects.
- Trees shall have an average crown spread of greater than 15 feet at maturity. Trees having a lesser average mature crown of 15 feet may be substituted by grouping the same so as to create the equivalent of 15 feet of crown spread. Large trees shall be a minimum of three inches in caliper (measured four feet above the ground) and seven feet in height at time of planting. Small ornamental trees shall be a minimum of one and one-half inches in caliper and five feet in height at time of planting. All new trees shall be provided with a permeable surface under the dripline a minimum of five feet by five feet diameter.
- Shrubs not of a dwarf variety shall be a minimum of two feet in height when measured immediately after planting. Hedges, where installed for screening purposes, shall be planted and maintained so as to form a continuous 75 percent visual screen which will be at least six feet high within three years after time of planting, except for parking lot/tract/headlight screens, which shall form a continuous, solid visual screen three feet high within two years after planting.
- Grass areas shall be sodded, plugged, sprigged, hydro-mulched and/or seeded, except that solid sod shall be used in swales, earthen berms or other areas subject to erosion.
- All landscaped areas shall be equipped with an automatic underground irrigation system with freeze and moisture sensors to prevent watering at inappropriate times. Landscaped areas having less than ten square feet in area may be irrigated by some other inconspicuous method. The landscaping shall be required to be maintained in a healthy, living and growing condition, and any irrigation devices shall not be visible from public streets or walkways.

SUMMARY CHART - INTERIOR PARKING LOT LANDSCAPING

# OF PROVIDED PARKING SPACES	45
# OF REQUIRED INTERNAL TREES (1 PER 10 PARKING SPACES)	5
# OF TOTAL PROVIDED INTERNAL TREES	6

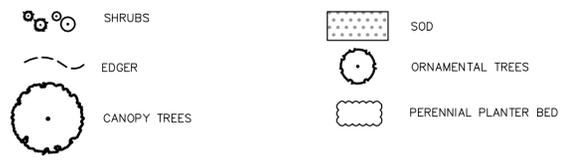
SUMMARY CHART - TOTAL LANDSCAPED AREA

TOTAL LOT AREA	57939 SF
REQUIRED % OF LOT LANDSCAPED	20%
REQUIRED LANDSCAPED AREA	11588 SF
PROVIDED LANDSCAPE AREA	13329 SF
PROVIDED % OF LOT LANDSCAPED	23%
MAX SOD AREA TO BE REPLACED BETWEEN PROJECT BOUNDARY AND SOUTH CURB = 5463 SF	

SUMMARY CHART - LANDSCAPE BUFFER

LOCATION	REQ/PROV	WIDTH	SHADE TREES	ORNAMENTAL TREES	SHRUBS
EAST	REQUIRED	15 FEET	N/A	N/A	142 SHRUBS
EAST	PROVIDED	15 FEET			142 SHRUBS
SOUTH	REQUIRED	15 FEET	6 TREES	12 TREES	N/A
SOUTH	PROVIDED	15 FEET	6 TREES	12 TREES	N/A
NORTH	REQUIRED	10 FEET	5 TREES	N/A	N/A
NORTH	PROVIDED	10 FEET	5 TREES		

Plant Legend



CAUTION!!! BEFORE YOU DIG...
 UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG.
 NATIONAL 811 DIGGING NUMBER
 TEXAS EXCAVATION SAFETY SYSTEM (TESS) 1-800-344-8377
 TEXAS ONE CALL SYSTEMS 1-800-245-4545
 LONE STAR NOTIFICATION CENTER 1-800-669-8344 EXT. 5
 NTHWD CONTACT LINE LOCATES 972-442-5405
 (IT IS THE CONTRACTOR'S RESPONSIBILITY FOR VERIFYING LOCATION & ELEVATION OF ALL EXISTING UTILITIES.)
 NOTE: IF UTILITY RELOCATIONS ARE SCHEDULED, IN-PROGRESS OR COMPLETE, CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTOR & PROJECT MANAGER IMMEDIATELY IF FRANCHISE UTILITIES ARE FOUND TO BE IN CONFLICT WITH PROPOSED CONSTRUCTION.

BENCHMARK LIST:
 BENCHMARK #1
 CITY OF PLANO GPS POINT NO. 219 FOUND LOCATED IN THE CENTERLINE MEDIAN OF 14TH STREET 305± SOUTHWEST OF DUBLIN ROAD ELEVATION = 529.49
 BENCHMARK #2
 SQUARE CUT SET ON TOP OF CURB OF NORTH SIDE OF DRIVEWAY 60± NORTH OF SOUTHEAST CORNER OF THE SITE. ELEVATION = 549.99

FRANCHISE UTILITY NOTES:
 1. ONCOR ELECTRIC - (903) 888-8242 - MR. MARK BAILEY
 2. AT&T ENERGY (GAS) - (214) 733-5122 - MR. DAVID OKER
 3. TIME WARNER CABLE - (972) 742-5892
 4. AT&T TELEPHONE - (972) 569-4760 - MR. KEITH HELM

NO.	DATE	REVISION / DESCRIPTION
DESIGN	DRAWN	DATE
PDS/TCC	TCC	08-29-2016

DEVELOPER
 JAIN ESTATES, LLC
 1331 TWIN KNOLL DRIVE
 MURPHY, TEXAS 75094
 MR. PANKAJ JAIN
 (201) 970-6273

PROJECT INFORMATION
 SMILES AT MURPHY OFFICE BUILDING
 A 1.3301 ACRE TRACT OF LAND IN THE MARY SCOTT SURVEY, A-859
 CITY OF MURPHY, TEXAS
 EXISTING ZONING: PD-14-04-975 (OFFICE)

THIS DOCUMENT IS RELEASED FOR THE PURPOSES OF INTERIM REVIEW ON 8-17-16. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.

PRELIMINARY FOR INTERIM REVIEW ONLY NOT TO BE USED FOR CONSTRUCTION OR BIDDING PURPOSES. PLAN PREPARED BY:
 COLE CAPPEL
 WESTWOOD PS
 2740 N. DALLAS PARKWAY #280
 PLANO TX 75093

PPOGUE
 ENGINEERING & DEVELOPMENT COMPANY, INC.
 a division of **Westwood**
 1512 BRAY CENTRAL DRIVE SUITE 100
 MCKINNEY, TEXAS 75069
 TX BOARD PROF. ENGINEERS, CERT. #11756; TX BOARD PROF. LAND SURVEYING, CERT. 1007430
 (214) 437-4640 PHONE
 (888) 937-5150 TOLL FREE
 WWW.WESTWOODPS.COM

LANDSCAPE PLAN
 SMILES AT MURPHY OFFICE BUILDING
 A 1.3301 ACRE TRACT IN MARY SCOTT SURVEY, A-859
 CITY OF MURPHY, TEXAS

SHEET NO.
 L1.02

LANDSCAPE SPECIFICATIONS

SECTION 02900

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

A. Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- 1. Planting (trees, shrubs, and grass)
2. Bed preparation and fertilization
3. Notification of sources
4. Water and Maintenance until final acceptance
5. Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) - plant material.
B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
C. Texas Association of Nurserymen, Grades and Standards.
D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

A. The Contractor shall, within ten (10) days following acceptance of bid, notify the Engineer/Architect/Owner of the sources of plant materials and bed preparation required for the project.

B. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.

C. Product Data: Submit complete product data and specifications on all other specified materials.

D. Submit three representative samples of each variety of ornamental trees, shrubs, and ground cover plants for Engineers/Architect's approval. When approved, tag, install, and maintain representative samples for final installed plant materials.

E. File Certificates of Inspection of plant material by state, county, and federal authorities with Architect/Engineer, if required.

F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect/Engineer.

1.5 JOB CONDITIONS

A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.

B. General Contractor shall provide topsoil as described in Section 02200 - Earthwork.

C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

Section 02900 - 01

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

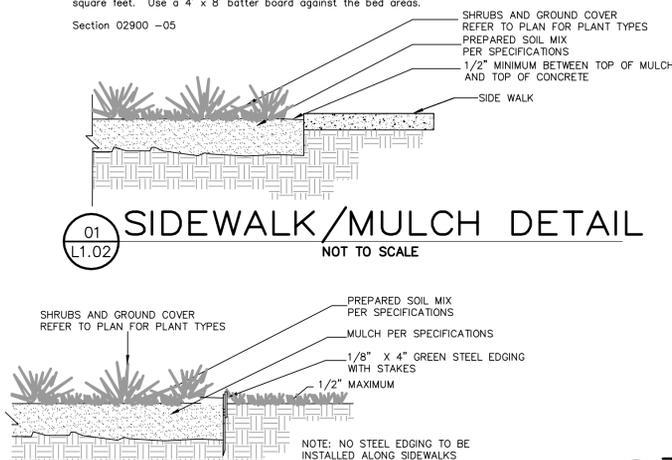
A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.

B. All planting areas shall be conditioned as follows:

- 1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six inches prior to fertilizer and compost application. Apply fertilizer as per manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the native soil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
2. All planting bed areas shall receive a two (2") inch layer of specified mulch.
3. Backfill for tree pits shall be as follows: Use existing topsoil on site, free from large clumps, rock, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
C. Grass Area:

- 1. Areas to be Solid Sod Bermuda grass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
2. Areas to be Hydromulch Common Bermuda grass: Hydromulch with Bermuda grass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

Section 02900 -05



01 L1.02 SIDEWALK/MULCH DETAIL NOT TO SCALE

LANDSCAPE SPECIFICATIONS (CONT)

1.6 MAINTENANCE AND GUARANTEE

A. Maintenance

- 1. The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, ground cover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
2. Maintenance shall include watering of trees and plants, cultivation, weeding, spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner and Landscape Contractor will be completed prior to written acceptance.
4. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.

B. GUARANTEE

1. Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and ground cover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.

- a. Plants used for replacement shall be of the same kind and size as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or be areas, incurred as a result of making replacements shall be immediately repaired.
b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and reinspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.

3. The above guarantee shall not apply where plants die after acceptance because of injury by storms, hail, freeze, insects, diseases, injury by humans, machines or theft.

4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a completed, undamaged condition, and there is a stand of grass in all lawn areas. At this time, the Owner will assume maintenance on the accepted work.

1.7 QUALITY ASSURANCE

A. General: Comply with applicable Federal, State, County, and Local regulations governing landscape materials and work.

B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full-time supervision by a qualified foreman acceptable to Landscape Architect/Engineer.

C. Selection of Plant Material:

- 1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
2. Landscape Architect/Engineer will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
3. Owner and/or Architect/Engineer shall inspect all plant materials, when reasonable, at place of growth for compliance with requirements for genus, species, cultivar/variety, size, and quality.

Section 02900 - 02

3.2 INSTALLATION

A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.

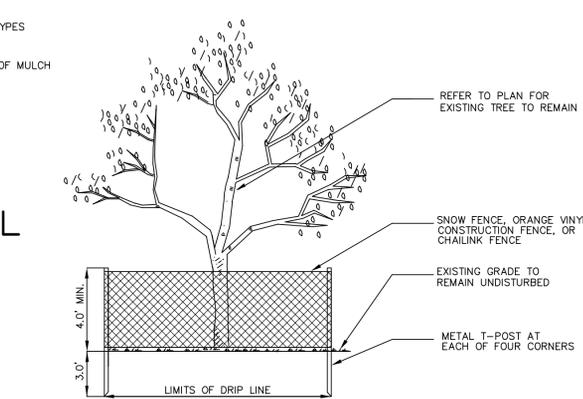
B. Plant materials shall be delivered to the site only after the beds are prepared and are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants, which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.

C. Position the trees and shrubs in their intended location as per plan.

D. Notify the Landscape Architect/Engineer for inspection and approval of all positioning of plant materials.

E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls or earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relation to the finish grade that it did to soil surface in place of growth.

Section 02900 -06



03 L1.02 TREE PROTECTIVE FENCING NOT TO SCALE

1.7 QUALITY ASSURANCE (CONT.)

C. Selection of Plant Material. (Cont)

- 4. Owner and/or Architect/Engineer retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
5. Owner and/or Architect/Engineer may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

A. Preparation:

1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.

2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

B. Delivery:

- 1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery.
2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
3. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
5. Notify Architect/Engineer of delivery schedule 72 hours in advance so plant material may be observed upon arrival at job site.
6. Remove rejected plant material immediately from site.
7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

A. General: Well formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Architect/Engineer and his decision as to their acceptability shall be final.

B. Quantities: the drawings and specifications are complimentary; anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.

C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well shaped, full branched, and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae and are to be of specimen quality.

D. Approval: All plant materials shall be subject to the approval of the Owner and/or Landscape Architect/Engineer. All plants which are found unsuitable in growth, or in any unhealthy, body shaped, or undersized condition, will be rejected by the Landscape Architect/Engineer, either before or after planting, and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.

E. Trees shall be healthy, full branched, well shaped, and shall meet the trunk diameter and height requirements of the plant schedule. Balled and Burlapped shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball.

a. Nomenclature conforms to customary nursery usage; for clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.

F. Pruning: All pruning of trees and shrubs, as directed by Landscape Architect/Engineer, shall be executed by Landscape Contractor at no additional cost to the Owner.

SECTION 02900-003

3.2 INSTALLATION (cont.)

F. Shrub and tree pits shall be no less than two (2") feet, twenty-four (24") inches wider than the lateral dimension of earth ball and six (6") inches deeper than its vertical dimension. Remove and haul from site all rocks or stones over one (1") inches in diameter. Plants should be thoroughly moist before removing containers.

G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.

H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to be moved to another location or have pier hole drainage added.

I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top 1/3 of the ball, as well as all nylon, plastic string and wire mesh. Container trees will usually be pot bound, if so follow standard nursery practice of "Rooting trees".

J. Do not wrap trees.

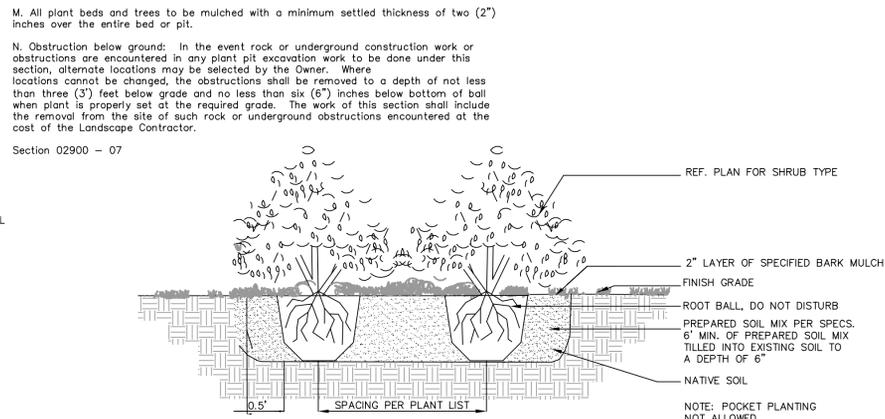
K. Do not over prune.

L. Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball unplanted and mulch with at least two (2") inches of specified mulch.

M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.

N. Obstruction below ground: In the event rock or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3) feet below grade and no less than six (6") inches below bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.

Section 02900 - 07



04 L1.02 SHRUB/GROUND COVER DETAIL NOT TO SCALE

2.2 SOIL PREPARATION MATERIALS

A. Sandy Loam:

- 1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dolomitic or Nutgrass shall be rejected.
2. Physical properties as follows: Clay-between 7-27 percent Silt-between 15-25 percent Sand-less than 52 percent
3. Organic matter shall be 3% - 10% of total dry weight.
4. If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.

B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of coarse, fine textured material.

C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas: Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.

D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.

E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown, Living Earth Technologies or approved equal.

F. Organic Fertilizer: Fertillid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.

G. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulfur and 4% iron, plus micronutrients.

H. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

A. Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4" on center.

B. Staking Material for Shade Trees:

- 1. Post: Studded T-Post, no.1 Armo with anchor plate; 6'-0" length; point black
2. Wire: 12 gauge, single strand, galvanized wire.
3. Rubber hose: 2 ply, fiber reinforced hose, minimum 2 inch inside diameter. Color:Black

C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.

D. Filter Fabric: Mirafil 140N by Celanese Fibers Marketing Company, Available at Loftland Co., (214) 631-5250 or approved equal.

Section 02900 - 04

3.2 INSTALLATION (cont.)

O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure tree against seasonal prevailing winds.

P. Pruning and Mulching: Each area shall be pruned in accordance with standard horticultural practice to preserve the natural character of the plant and in the manner fitting its use in the landscape design.

- 1. Dead wood or suckers and broken or badly bruised branches shall be removed; general tipping of all branches is not permitted.
2. Pruning shall be done with clean sharp tools.
3. Immediately after planting operations are completed, all tree pits shall be covered with a layer of specified mulch two (2") inches in depth. This limit of the specified mulch for trees shall be the diameter of the plant pit.

Q. Steel Curbing Installation:

- 1. Curbing shall be aligned as indicated on plans.
2. All steel curbing shall be free of kinks or abrupt bends.
3. Top of curbing shall be 3/4" maximum higher than existing grade.
4. Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
5. Do not install steel edging along sidewalks.
6. Cut steel edging at 45 degree angle where edging meets sidewalk.

3.3 CLEANUP AND ACCEPTANCE

A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each day's work.

END OF SECTION

Section 02900 - 08

EXISTING TREE NOTES

Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around dripline (canopy) of tree.

If any root structure is damaged during adjacent excavation/construction, notify the Architect/Engineer immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.

No disturbance of the soil greater than 4" shall be located closer to the tree trunk than ? the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.

Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.

Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the dripline of any tree.

Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be deposited within the limits of the dripline of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.

Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.

Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the dripline of trees.

Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48") inches.

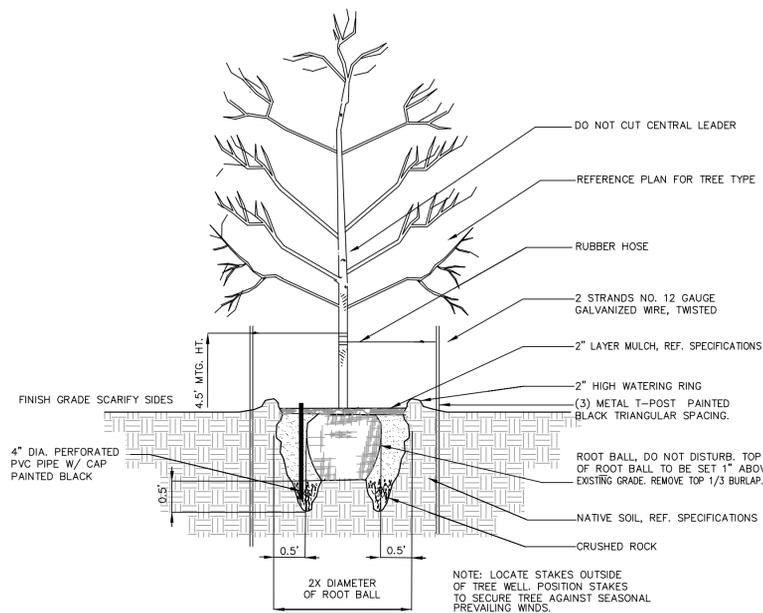
Trenching: Any irrigation trenching that must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.

Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (3" width) wrapped around the main trunk at a height of four (4") feet above grade. Flagging shall be approved by Landscape Architect/Engineer prior to any tree removal. Contractor shall contact Landscape Architect/Engineer with 72 hour notice to schedule on-site meeting.

Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4') foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).

Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree's trunk with lumber encircled with wire or other means that does not damage the tree. Refer to Tree Protection Detail(s).

Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect/Engineer immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect/Engineer.



05 L1.02 TREE PLANTING DETAIL NOT TO SCALE

ANSWELSON 08/29/2016 - 11:01AM N:\0008645\00\DWG\DWG\0008645\00.dwg THE ENGINEERING DESIGN, DETAIL AND ENGINEERING DRAWINGS FOR THIS PROJECT AND/OR OVERALL PROJECT ARE THE LEGAL PROPERTY OF WESTWOOD MULTI-DISCIPLINED SURVEYING & ENGINEERING. NO. 0008645\00\DWG\DWG\0008645\00.dwg © WESTWOOD MULTI-DISCIPLINED SURVEYING & ENGINEERING 2016. ALL RIGHTS RESERVED.

SMILES AT MURPHY OFFICE BUILDING

Table with columns: NO., DATE, REVISION / DESCRIPTION, W NUMBER. Includes rows for DESIGN, DRAWN, DATE, W NUMBER, PDS/TCC, TCC, 08-29-2016, R0008657.00.

DEVELOPER: JAIN ESTATES, LLC, 1331 TWIN KNOLL DRIVE, MURPHY, TEXAS 75094, MR. PANKAJ JAIN, (201) 970-6273. PROJECT INFORMATION: SMILES AT MURPHY OFFICE BUILDING, A 1.3301 ACRE TRACT OF LAND IN THE MARY SCOTT SURVEY, A-859, CITY OF MURPHY, TEXAS, EXISTING ZONING: PD-14-04-975 (OFFICE).

THIS DOCUMENT IS RELEASED FOR THE PURPOSES OF INTERIM REVIEW ON 08-17-16. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.

PLAN PREPARED BY: COLE CAPPE, WESTWOOD PS, 2740 N. DALLAS PARKWAY #280, PLANO TX 75093.

Logo for PPOGUE ENGINEERING & DEVELOPMENT COMPANY, INC. A division of Westwood. Address: 1512 BRAY CENTRAL DRIVE, SUITE 100, MCKINNEY, TEXAS 75069. Phone: (214) 437-4640, (888) 937-5150. Website: WWW.WESTWOODPS.COM.

LANDSCAPE DETAILS & SPECIFICATIONS. SMILES AT MURPHY OFFICE BUILDING, A 1.3301 ACRE TRACT IN MARY SCOTT SURVEY, A-859, CITY OF MURPHY, TEXAS. SHEET NO. L1.03. DWG NO: 0008645\00.dwg



A. L. Post, Inc.
 11301 Decimal Drive
 Louisville, KY 40299
 tel. 502.266.5060

Date: 07-08-2016
 Drawn by: **A.S.**
 Checked by: **L.P.**

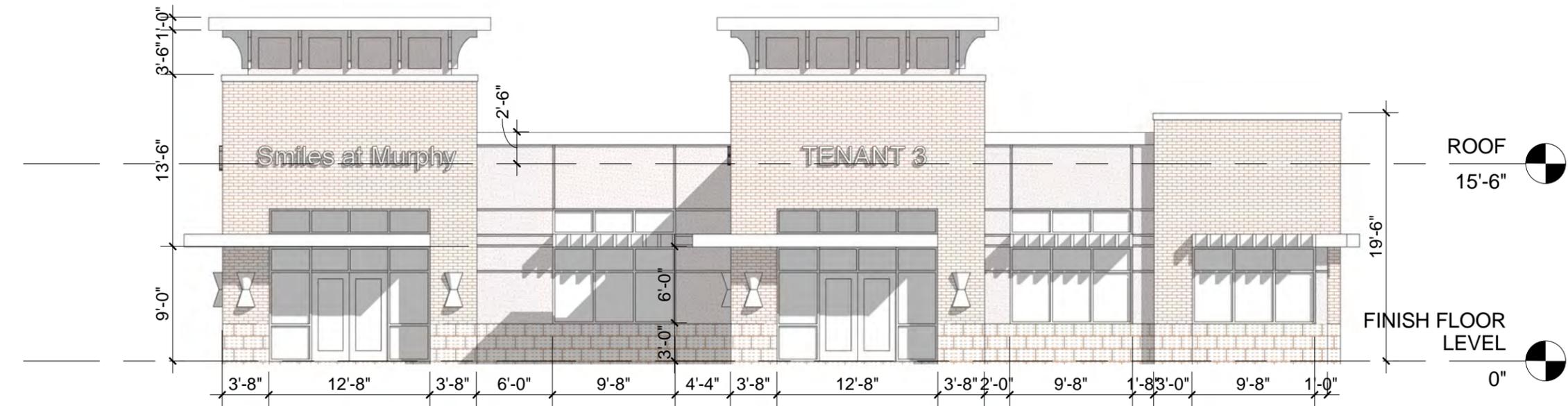
Smiles at Murphy

MURPHY, TX

A2.1



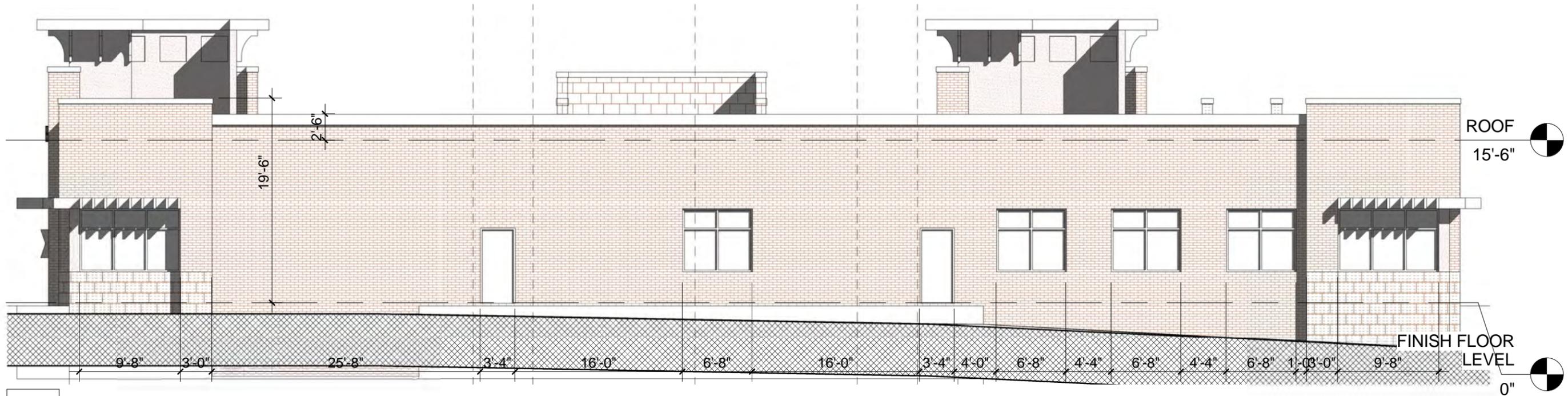
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 A2.1 1" = 10'-0"



2 SOUTH ELEVATION
 A2.1 1" = 10'-0"

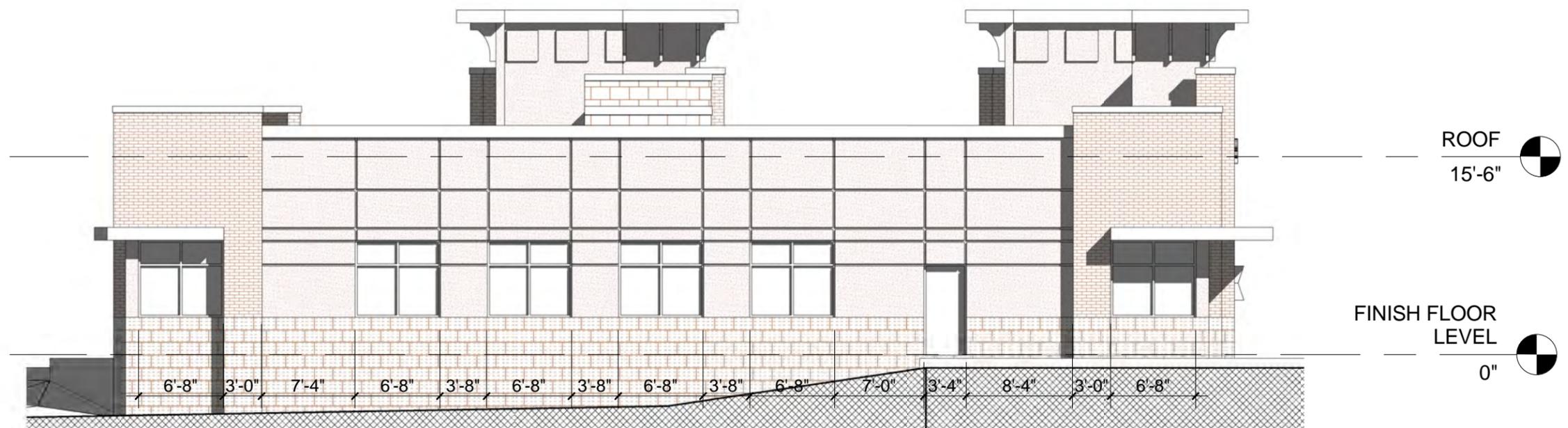


A. L. Post, Inc.
 11301 Decimal Drive
 Louisville, KY 40299
 tel. 502.266.5060



3 EAST ELEVATION
 A2.2 1" = 10'-0"

Date: 07-08-2016
 Drawn by: **A.S.**
 Checked by: **L.P.**



4 NORTH ELEVATION
 A2.2 1" = 10'-0"

Smiles at Murphy

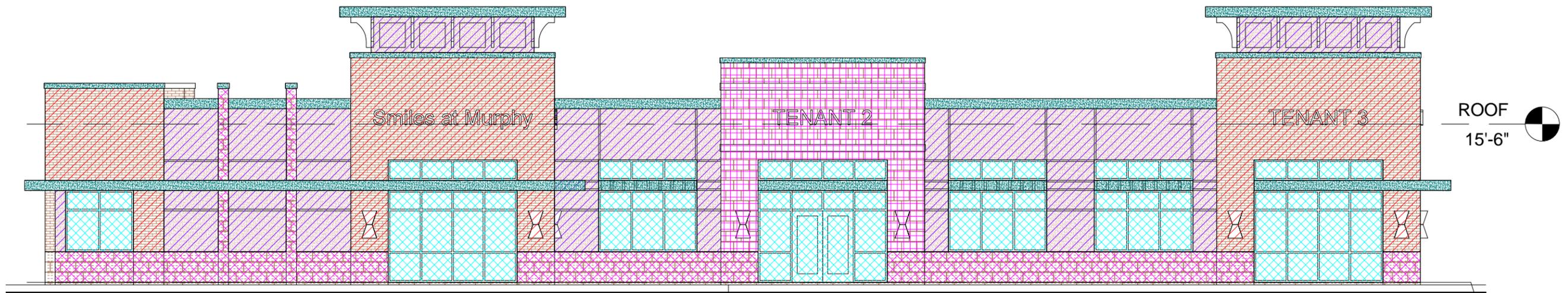
MURPHY, TX

A2.2

FINSHES		
BRICK	644 SF	22.47%
STONE	318 SF	11.10%
STONE SMOOTH	256 SF	8.93%
STUCCO	699 SF	24.39%
CONCRETE	259 SF	9.04%
GLASS	690 SF	24.08%
TOTAL	2866 SF	



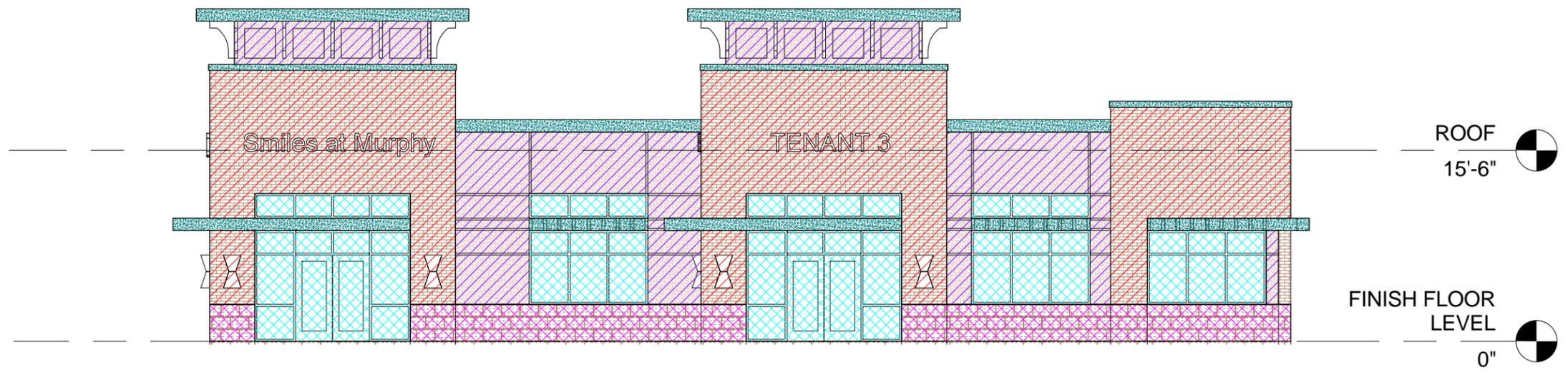
A. L. Post, Inc.
 11301 Decimal Drive
 Louisville, KY 40299
 tel. 502.266.5060



1 WEST ELEVATION
 A2.3 3/32" = 1'-0"

ROOF 15'-6"
 FINISH FLOOR LEVEL 0"

FINSHES		
BRICK	678 SF	34.95%
STONE	188 SF	9.69%
STUCCO	407 SF	20.98%
CONCRETE	176 SF	9.07%
GLASS	491 SF	25.31%
TOTAL	1940 SF	



2 SOUTH ELEVATION
 A2.3 3/32" = 1'-0"

ROOF 15'-6"
 FINISH FLOOR LEVEL 0"

Smiles at Murphy
 MURPHY, TX

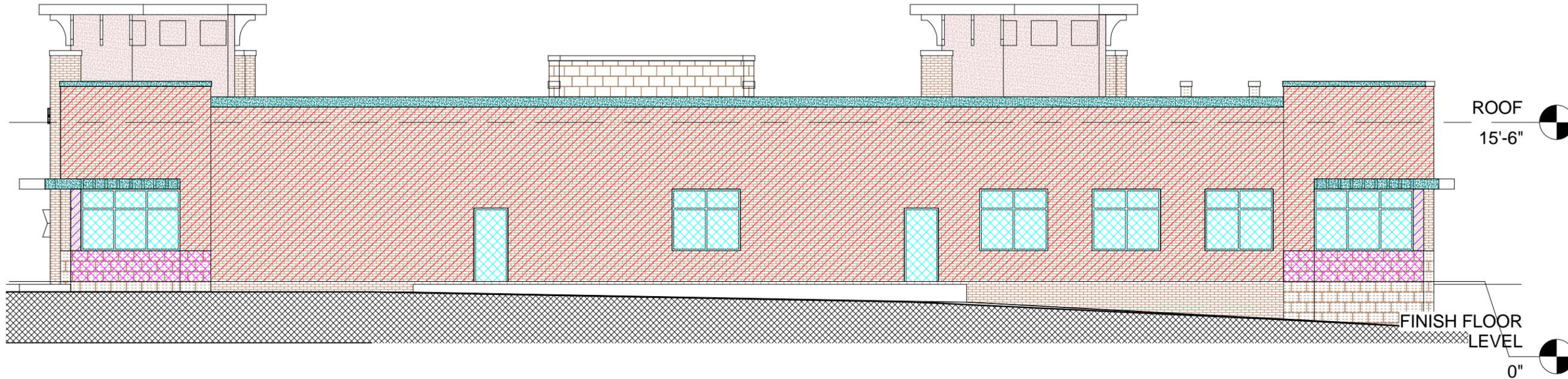
A2.3

Date: 07-08-2016
 Drawn by: **A.S.**
 Checked by: **L.P.**

FINSHES		
BRICK	1877 SF	76.93%
STONE	82 SF	3.36%
STUCCO	12 SF	0.49%
CONCRETE	145 SF	5.94%
GLASS	324 SF	13.28%
TOTAL	2440 SF	

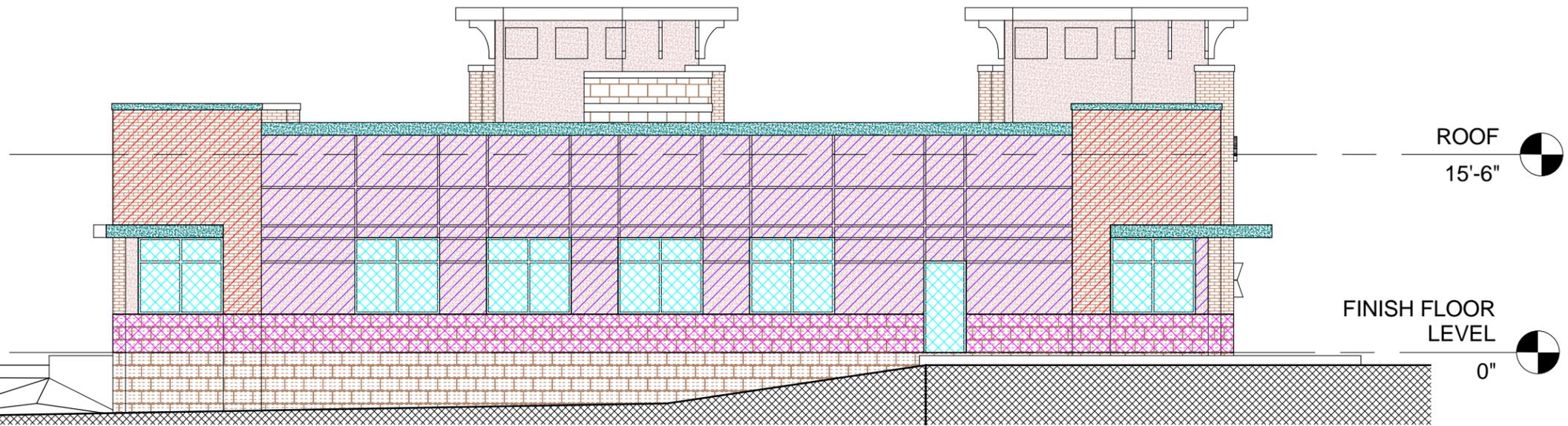


A. L. Post, Inc.
 11301 Decimal Drive
 Louisville, KY 40299
 tel. 502.266.5060



3 EAST ELEVATION
 A2.4 3/32" = 1'-0"

FINSHES		
BRICK	252 SF	15.85%
STONE	254 SF	15.97%
STUCCO	723 SF	45.47%
CONCRETE	97 SF	6.10%
GLASS	264 SF	16.60%
TOTAL	1590 SF	



4 NORTH ELEVATION
 A2.4 3/32" = 1'-0"

Date: 07-08-2016
 Drawn by: **A.S.**
 Checked by: **L.P.**

Smiles at Murphy

MURPHY, TX

A2.4



A. L. Post, Inc.
11301 Decimal Drive
Louisville, KY 40299
tel. 502.266.5060



1	WEST ELEVATION
C1.5	1" = 10'-0"



2	SOUTH ELEVATION
C1.5	1" = 10'-0"

Date:	07-08-2016
Drawn by:	A.S.
Checked by:	L.P.

Smiles at Murphy

MURPHY, TX

C1.5



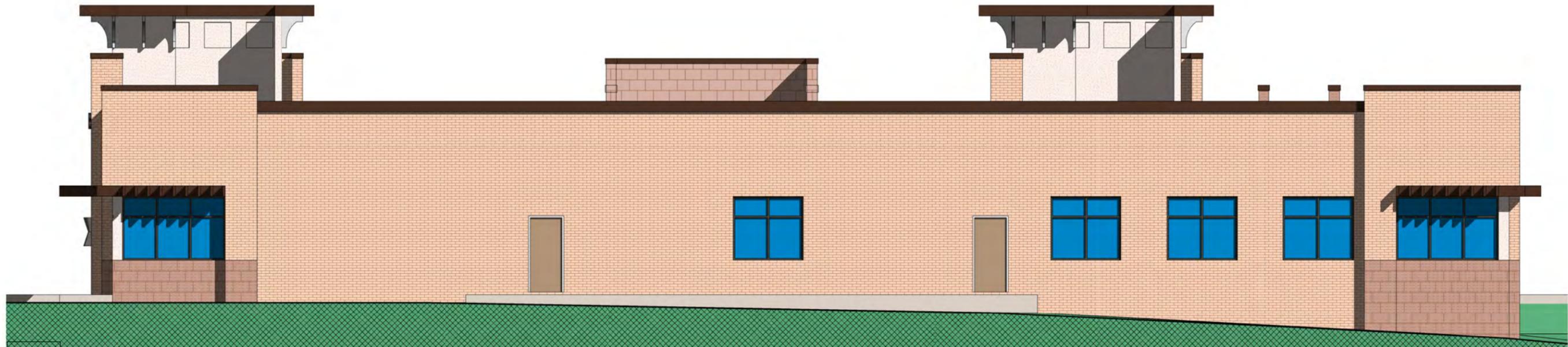
A. L. Post, Inc.
11301 Decimal Drive
Louisville, KY 40299
tel. 502.266.5060

Date: 07-08-2016
Drawn by: **A.S.**
Checked by: **L.P.**

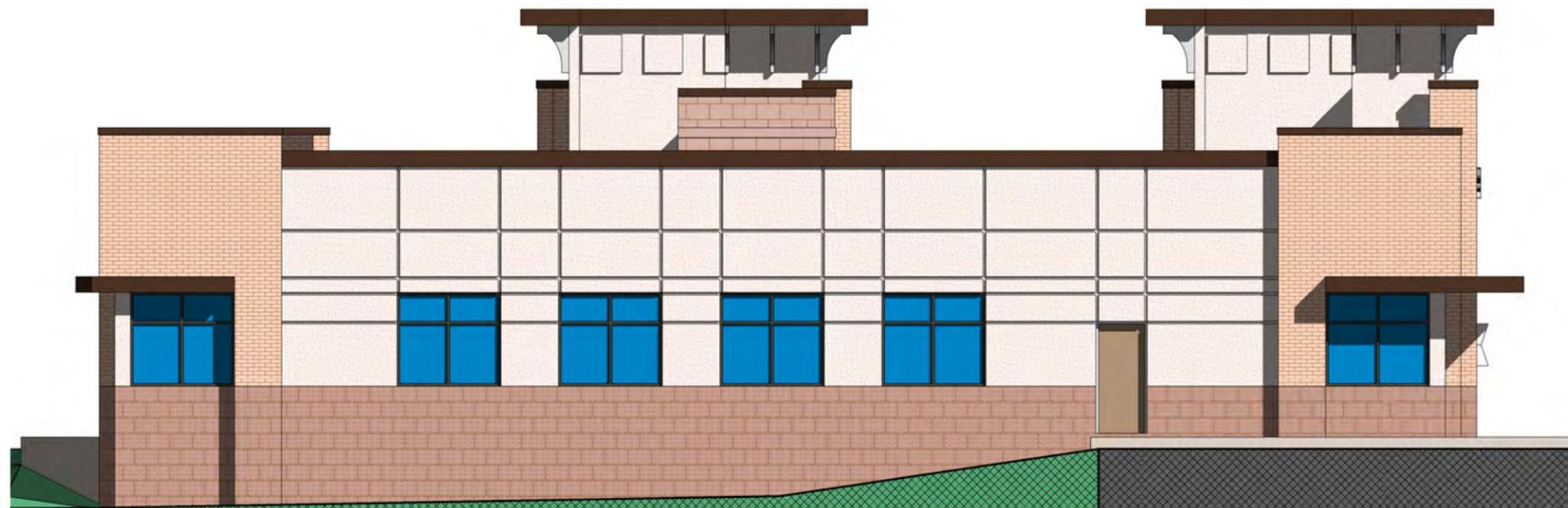
Smiles at Murphy

MURPHY, TX

C1.6

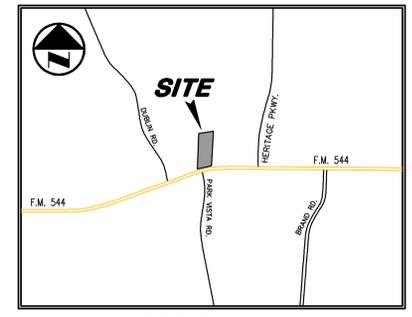
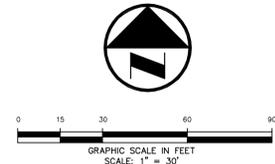
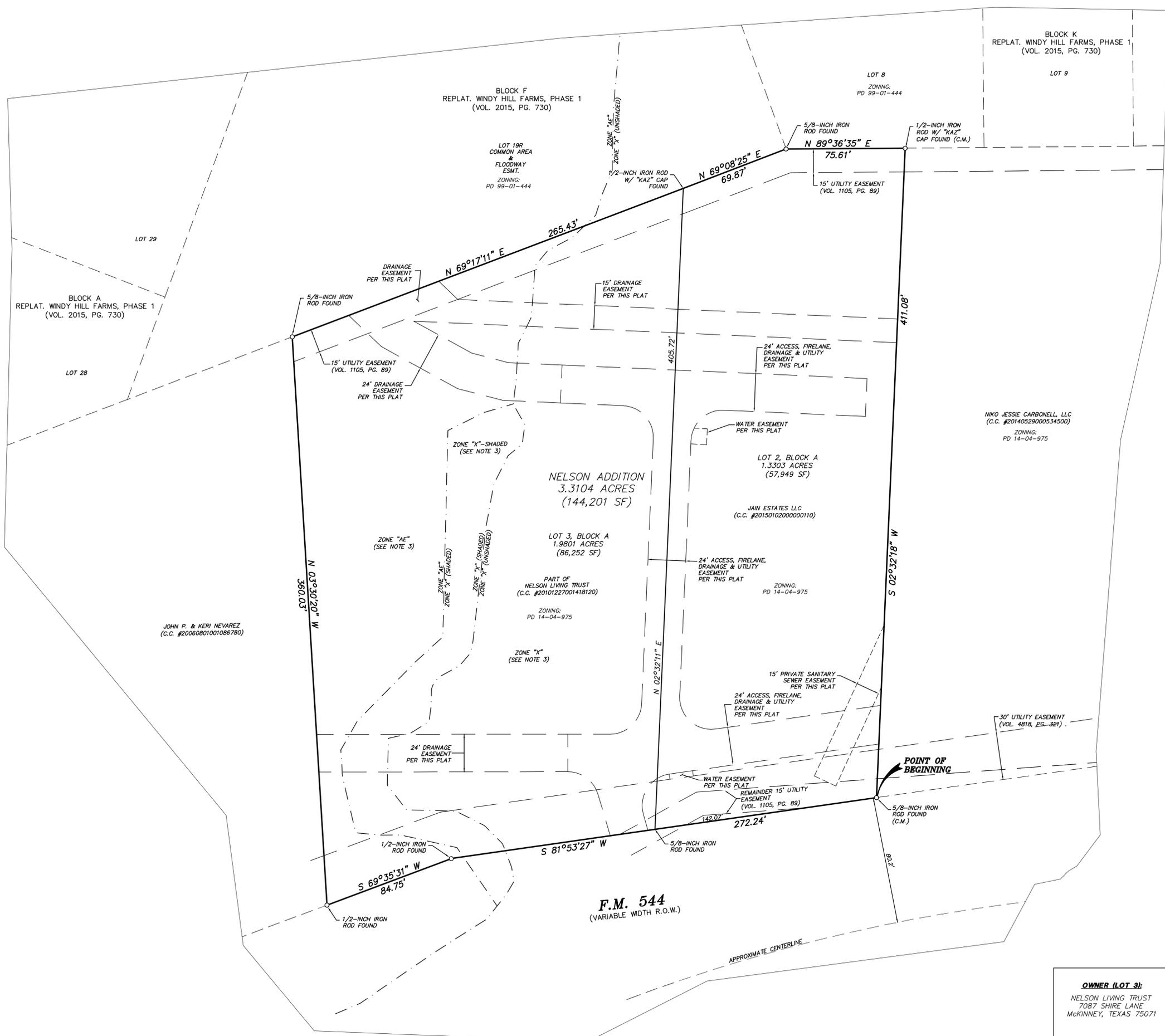


3	EAST ELEVATION
C1.6	1" = 10'-0"



4	NORTH ELEVATION
C1.6	1" = 10'-0"

ANNE MARIE LEE, 08/19/2016, 10:52AM
 A:\0008645.DWG SURVEY\0008645.FP.DWG
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NOTES:

- Bearing system for this survey is based on grid North State Plane Coordinates of the Texas Coordinate System NAD83 (CORS96) Texas North Central Zone (4202), NAVD88.
- Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and withholding of utilities and building permits.
- The subject property is shown on the National Flood Insurance Program Flood Insurance Rate Map for Collin County, Texas and Incorporated Areas Community Panel Number 48085C0395J, Dated: June 2, 2009. All of the subject property is indicated to be in Zone "X" and Zone "AE" on said map. Relevant zones are defined on said map as follows:

- Zone "X" - Other Areas: Areas determined to be outside the 0.2% annual chance floodplain.
- Zone "X" (shaded) - Other Flood Areas: Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.
- Zone "AE" - Special Flood Hazard Areas (SFHAs) subject to inundation by the 1% Annual Chance Flood: Base Flood Elevations determined.

This flood statement regarding flooding does not imply that the property and/or structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

- (C.M.) - Controlling Monument.

CONSTRUCTION PLAT
NELSON ADDITION
LOT S 2 & 3, BLOCK A
 AN ADDITION TO THE CITY OF MURPHY, TEXAS
 AND BEING OUT OF THE
 M. SCOTT SURVEY, ABSTRACT No. 859
 COLLIN COUNTY, TEXAS
 SHEET 1 OF 2

OWNER (LOT 3):
 NELSON LIVING TRUST
 7087 SHIRE LANE
 MCKINNEY, TEXAS 75071

OWNER (LOT 2):
 JAIN ESTATES, LLC
 1331 Twin Knoll Drive
 Murphy, Texas 75094
 (201) 970-6273


 ENGINEERING & DEVELOPMENT COMPANY, INC.
 a division of **Westwood**
(214) 437-4640 PHONE
1512 BRAY CENTRAL DRIVE SUITE 100 MCKINNEY, TEXAS 75069 WWW.WESTWOODPS.COM
(888) 937-5150 TOLL FREE
TX BOARD PROF. ENGINEERS, CERT. #11756; TX BOARD PROF. LAND SURVEYING, CERT. 1007430

PREPARED	05-04-2016
SURVEYED	04-20-2016
SCALE:	1" = 30'
W NUMBER	R0008645.00
DRAWN BY:	RLG
CHECKED BY:	AWS

ANSI/MILLSON 08/29/2016 10:52AM
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STATE OF TEXAS ~

COUNTY OF COLLIN ~

WHEREAS, Jain Estates LLC and Nelson Living Trust are the owners of a 3.3104 acre tract of land situated in the M. Scott Survey, Abstract No. 859, Collin County, Texas; said tract being all of that certain tract of land described in Warranty Deed to Jain Estates LLC recorded in County Clerk's File No. 20150102000000110 of the Deed Records of Collin County, Texas and part of that certain tract of land described in Warranty Deed to Nelson Living Trust recorded in County Clerk's File No. 20101227001418120 of the said Deed Records; said 3.3104 acre tract being more particularly described as follows:

BEGINNING, at a 5/8-inch iron rod found in the northerly right-of-way line of F. M. 544 (a variable width right-of-way); said point being the southeast corner of said Jain Estates tract and the southwest corner of that certain tract of land described in Warranty Deed with Vendor's Lien to Niko Jessie Carbonell, LLC recorded in County Clerk's File No. 20140529000534500 of the said Deed Records;

THENCE, along the said northerly line of F.M. 544, the following two (2) calls:

South 81 degrees, 53 minutes, 27 seconds West, at a distance of 142.07 feet passing a 5/8-inch iron rod found at the southwest corner of said Jain Estates tract, continuing in all a total distance of 272.24 feet to a 1/2-inch iron rod found at an angle point;

South 69 degrees, 35 minutes, 31 seconds West, a distance of 84.75 feet to a 1/2-inch iron rod found for corner in the east line of that certain tract of land described in Quitclaim Deed to John Paul and Kerri Nevarez recorded in County Clerk's File No. 20060801001086780 of the said Deed Records;

THENCE, North 03 degrees, 30 minutes, 20 seconds West, departing the said northerly line of F.M. 544, a distance of 360.03 feet to a 5/8-inch iron rod found for corner in the southeasterly line of Lot 19R, Block F, Replat, Windy Hill Farms, Phase 1, an addition to the City of Murphy, Texas according to the plat recorded in Volume 2015, Page 730 of the Plat Records of Collin County, Texas;

THENCE, North 69 degrees, 17 minutes, 11 seconds East, along the said southeasterly line of Lot 19R, Block F, a distance of 265.43 feet to a 1/2-inch iron rod with "KAZ" cap found at an angle point; said point also being the northwest corner of said Jain Estates tract;

THENCE, North 69 degrees, 08 minutes, 25 seconds East, continuing along the said southeasterly line of Lot 19R, Block F and along the northwest line of said Jain Estates tract, a distance of 69.87 feet to a 5/8-inch iron rod found for corner; said point also being the southeast corner of said Lot 19R, Block F and the southwest corner of Lot 8, Block K of said Replat, Windy Hill Farms, Phase 1;

THENCE, North 89 degrees, 36 minutes, 35 seconds East, along the north line of said Jain Estates tract and the south line of said Lot 8, Block K, a distance of 75.61 feet to a 1/2-inch iron rod with "KAZ" cap found for corner; said point also being the northeast of said Jain Estates tract and the northwest corner of said Niko Jessie Carbonell tract;

THENCE, South 02 degrees, 32 minutes, 18 seconds West, departing the said north line of Jain Estates tract and said south line of Lot 8, Block F and along the common line between said Jain Estates tract and said Niko Jessie Carbonell tract, a distance of 411.08 feet to the POINT OF BEGINNING;

CONTAINING, 144,201 square feet or 3.3104 acres of land, more or less.
SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, Roman L. Groysman, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as "set" were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Murphy.

PRELIMINARY

RELEASED 08/29/16 FOR REVIEW PURPOSES ONLY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE.

Roman L. Groysman,
Registered Professional Land Surveyor
No. 5864



STATE OF TEXAS ~

COUNTY OF COLLIN ~

BEFORE ME, the undersigned authority in and for the State of Texas, on this day personally appeared Roman L. Groysman, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed and in the capacity therein stated.

WITNESS MY HAND at Collin County, Texas, this _____ day of _____, 2016.

Notary Public in and for the State of Texas.

RECOMMENDED BY: Planning and Zoning Commission
City of Murphy, Texas

Signature of Chairperson Date of Recommendation

APPROVED BY: City Council
City of Murphy, Texas

Signature of Mayor Date of Approval

ATTEST: _____
City Secretary Date

STATE OF TEXAS ~

COUNTY OF COLLIN ~

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That Jain Estates LLC, and Nelson Living Trust acting herein by and through their duly authorized officer(s), does hereby adopt this plat designating the herein above described property as JAIN ADDITION, BLOCK A, LOT 1, an addition to the City of Murphy, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, rights-of-way, and other public improvements shown thereon. The streets and alleys, if any, are dedicated for street purposes. The easements and public use areas, as shown, are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City Council of the City of Murphy. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Murphy's use thereof. The City of Murphy and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Murphy and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.

That Jain Estates LLC, and Nelson Living Trust does hereby covenant and agree that they shall construct upon the fire lane easements, as dedicated and shown hereon, a hard surface in accordance with the City of Murphy's paving standards for fire lanes, and that he (they) shall maintain the same in a state of good repair at all times and keep the same free and clear of any structures, fences, trees, shrubs, or other improvements or obstruction, including but not limited to the parking of motor vehicles, trailers, boats or other impediments to the accessibility of fire apparatus. The maintenance of paving on the fire lane easements is the responsibility of the owner, and the owner shall post and maintain appropriate signs in conspicuous places along such fire lanes, stating "Fire Lane, No Parking or Standing." The local law enforcement agency(s) is hereby authorized to enforce parking regulations within the fire lanes, and to cause such fire lanes and utility easements to be maintained free and unobstructed at all times for fire department and emergency use. That Jain Estates LLC, does covenant and agree that the access easement may be utilized by any person or the general public for ingress and egress to other real property, and for the purpose of general public vehicular and pedestrian use and access, and for fire department and emergency use in, along, upon and across said premises, with the right and privilege at all times of the City of Murphy, its agents, employees, workmen and representatives having ingress, egress, and and regress in, along, upon and across said premises

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Murphy, Texas.

WITNESS, my hand, this the _____ day of _____, 2016.

BY: _____

BY: _____

Printed name and title

Printed name and title

STATE OF TEXAS

COUNTY OF _____

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____ owner, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 2016.

Notary Public in and for the State of Texas

My commission expires on: _____

STATE OF TEXAS

COUNTY OF _____

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____ owner, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 2016.

Notary Public in and for the State of Texas

My commission expires on: _____

CONSTRUCTION PLAT
NELSON ADDITION
LOT S 2 & 3, BLOCK A
AN ADDITION TO THE CITY OF MURPHY, TEXAS
AND BEING OUT OF THE
M. SCOTT SURVEY, ABSTRACT No. 859
COLLIN COUNTY, TEXAS
SHEET 2 OF 2

OWNER (LOT 3): NELSON LIVING TRUST 7087 SHIRE LANE MCKINNEY, TEXAS 75071	OWNER (LOT 2): JAIN ESTATES, LLC 1331 Twin Knoll Drive Murphy, Texas 75094 (201) 970-6273	 a division of Westwood ENGINEERING & DEVELOPMENT COMPANY, INC. 1512 BRAY CENTRAL DRIVE SUITE 100 MCKINNEY, TEXAS 75069 TX BOARD PROF. ENGINEERS, CERT. #11756; TX BOARD PROF. LAND SURVEYING, CERT. 1007430 (214) 437-4640 PHONE (888) 937-5150 TOLL FREE WWW.WESTWOODPS.COM	PREPARED	05-04-2016
			SURVEYED	04-20-2016
		SCALE:	1" = 30'	
		W NUMBER	R0008645.00	
		DRAWN BY:	RLG	
		CHECKED BY:	AWS	

DWG NO: 0008645FP.DWG